

FRASER VALLEY REGIONAL DISTRICT ELECTORAL AREA SERVICES COMMITTEE OPEN MEETING AGENDA

Tuesday, July 14, 2020

1:30 pm

FVRD Boardroom, 45950 Cheam Avenue, Chilliwack, BC

Pages

1. CALL TO ORDER

2. CHAIR'S REPORT ON REGIONAL AND CORPORATE SERVICES COMMITTEE MEETING

3. APPROVAL OF AGENDA, ADDENDA AND LATE ITEMS

MOTION FOR CONSIDERATION

THAT the Agenda, Addenda and Late Items for the Electoral Area Services Committee Open Meeting of July 14, 2020 be approved;

AND THAT all delegations, reports, correspondence and other information set to the Agenda be received for information.

4. DELEGATIONS AND PRESENTATIONS

4.1 Presentation by Lesa Lacey, Lacey Developments Ltd. regarding DVP 2020-08 6 - 17

4.1.1 Development Variance Permit 2020-08 to reduce the interior side lot line setbacks at 43830 & 43836 Loch Road, Electoral Area C 18 - 51

- Corporate report dated July 14, 2020 from Andrea Antifaeff, Planner I
- DVP Application

MOTION FOR CONSIDERATION

THAT the Fraser Valley Regional District Board refuse Development Variance Permit application 2020-08 to reduce the interior side lot line setbacks from 1.5 metres to 0 metres to facilitate the construction of a second storey breezeway to connect two dwelling units on separate parcels at 43830 & 43836 Loch Road, Area C.

4.2 Presentation by Laura Jeffries, Applied Research Scientist from Sylvis Environmental Services regarding FVRD Electoral Area Biosolids Management Plan 52 - 61

- Corporate report dated July 14, 2020 from Sterling Chan, Manager of Engineering and Infrastructure

MOTION FOR CONSIDERATION

THAT the Fraser Valley Regional District Board endorse the recommendations of the FVRD Biosolids Management Options Assessment.

5. MINUTES/MATTERS ARISING**5.1 Draft Electoral Area Services Committee Meeting Minutes - June 9, 2020**

65 - 72

MOTION FOR CONSIDERATION

THAT the Minutes of the Electoral Area Services Committee Open Meeting held June 9, 2020 be adopted.

6. PLANNING, BUILDING INSPECTION AND BYLAW ENFORCEMENT**6.1 Agricultural Land Commission Application – Non-Farm Use on PID 023-261-510, Bridal Falls Road, Electoral Area “D”**

73 - 79

- Corporate report dated July 14, 2020 from Tracey Heron, Planning Technician

MOTION FOR CONSIDERATION

THAT the application for non-farm use within the Agricultural Land Reserve on Crown Land property on Bridal Falls Road, Electoral Area “D”, be forwarded to the Agricultural Land Commission for consideration;

AND THAT the Agricultural Land Commission consider the staff report dated July 14, 2020 under file number 3015-20 2020-02.

6.2 Development Variance Permit 2020-03 to vary the height regulation in the Waterfront Residential (R-3) zone at 29 Lakeshore Drive, Cultus Lake, Electoral Area H

80 - 103

- Corporate report dated July 14, 2020 from Julie Mundy, Planner I
- DVP Application
- Draft Permit

MOTION FOR CONSIDERATION

THAT the Fraser Valley Regional District Board issue Development Variance Permit 2020-03 for 29 Lakeshore Drive, Cultus Lake Park, to vary the height regulation from maximum two (2) stories plus basement or crawlspace and roof to maximum three (3) stories plus basement and roof to facilitate the construction of a single-family dwelling, subject to consideration of comments

or concerns raised by the public.

6.3 Development Variance Permit 2020-07 to reduce the front and side lot line setbacks at 58261 Fancher Road, Electoral Area B 104 - 132

- Corporate report dated July 14, 2020 from Gavin Luymes, Planning Technician
- DVP Application
- Draft DVP

MOTION FOR CONSIDERATION

THAT the Fraser Valley Regional District Board issue Development Variance Permit 2020-07 to reduce the front lot line setback from 25 feet (7.62 metres) to 9.84 feet (3.0 metres) clear-to-sky and side lot line setback from 25 feet (7.62 metres) to 8 feet (2.43 metres) clear-to-sky to facilitate construction of an agricultural machine shop and storage building at 58261 Fancher Road, Electoral Area B, subject to the consideration of any comments or concerns raised by the public.

6.4 Rogers Communications Tower Proposal for 52018 Yale Road, Electoral Area D 133 - 147

- Corporate report dated July 14, 2020 from Andrea Antifaeff, Planner I
- Rogers Telecommunications Facility Proposal Information Package

MOTION FOR CONSIDERATION

THAT the Fraser Valley Regional District Board respond to the referral from Rogers Communications for the installation of a new communications tower at 52018 Yale Road, Electoral Area D with the following comments:

1. The scope of the proposed public consultation is satisfactory to the Fraser Valley Regional District provided consultation with Cheam First Nation is undertaken.
2. Rogers Communications will provide documentation confirming that consultation is complete.
3. The proposed communications tower would be in the Agricultural Land Reserve and it requires the approval of the Agricultural Land Commission.
4. Rogers Communications will obtain a building permit prior to construction.
5. Rogers Communications will provide information to the FVRD on the potential for other telecommunication companies to co-locate on the proposed tower.

6.5 Commercial Gravel Operation Permit 2020-01 for Statlu Resources, 12 km Chehalis Forest Service Rd, Area C 148 - 223

- Corporate report by Graham Daneluz, Director of Planning and Development and Gavin Luymes, Planning Technician
- Draft Commercial Gravel Operations Permit 2020-01
- Mines Permit G-7-232
- Statlu Pit Application
- Schedule B-1 Confirmation of Commitment
- Schedule B-2 Statement of Assurance
- Licence of Occupation Map
- Statlu Pit Mine Plan
- Statlu Pit Noise, Dust, and Water Control Plan
- Notice of Work

MOTION FOR CONSIDERATION

THAT the FVRD Board issue Commercial Gravel Operations Permit 2020-01 to Statlu Resources INC for the gravel operation at 12 KM of the Chehalis Forest Service Road in Electoral Area C.

7. ADDENDA ITEMS/LATE ITEMS

8. REPORTS BY STAFF

9. REPORTS BY ELECTORAL AREA DIRECTORS

10. PUBLIC QUESTION PERIOD FOR ITEMS RELEVANT TO AGENDA

Email submissions can be made to info@fvrd.ca before 1 pm, July 13, or you can watch the webcast meeting online and call our reception line at 604-702-5000 when the time for callers is announced.

Alternatively, public may participate in public question period live on Zoom, by clicking the link provided on the FVRD website prior to the start of the meeting and following the instructions to join.

11. RESOLUTION TO CLOSE MEETING

MOTION FOR CONSIDERATION

THAT the meeting be closed to the public, except for Senior Staff and the Executive Assistant, for the purpose of receiving and adopting Closed Meeting minutes convened in accordance with Section 90 of the *Community Charter* and to consider matters pursuant to:

- Section 90(1)(g) of the *Community Charter* - litigation or potential litigation affecting the municipality; and,
- Section 90(1)(i) of the *Community Charter* - the receipt of advice that is

subject to solicitor-client privilege, including communications necessary for that purpose.

R E C E S S

- 12. **RECONVENE OPEN MEETING**
- 13. **RISE AND REPORT OUT OF CLOSED MEETING**
- 14. **ADJOURNMENT**

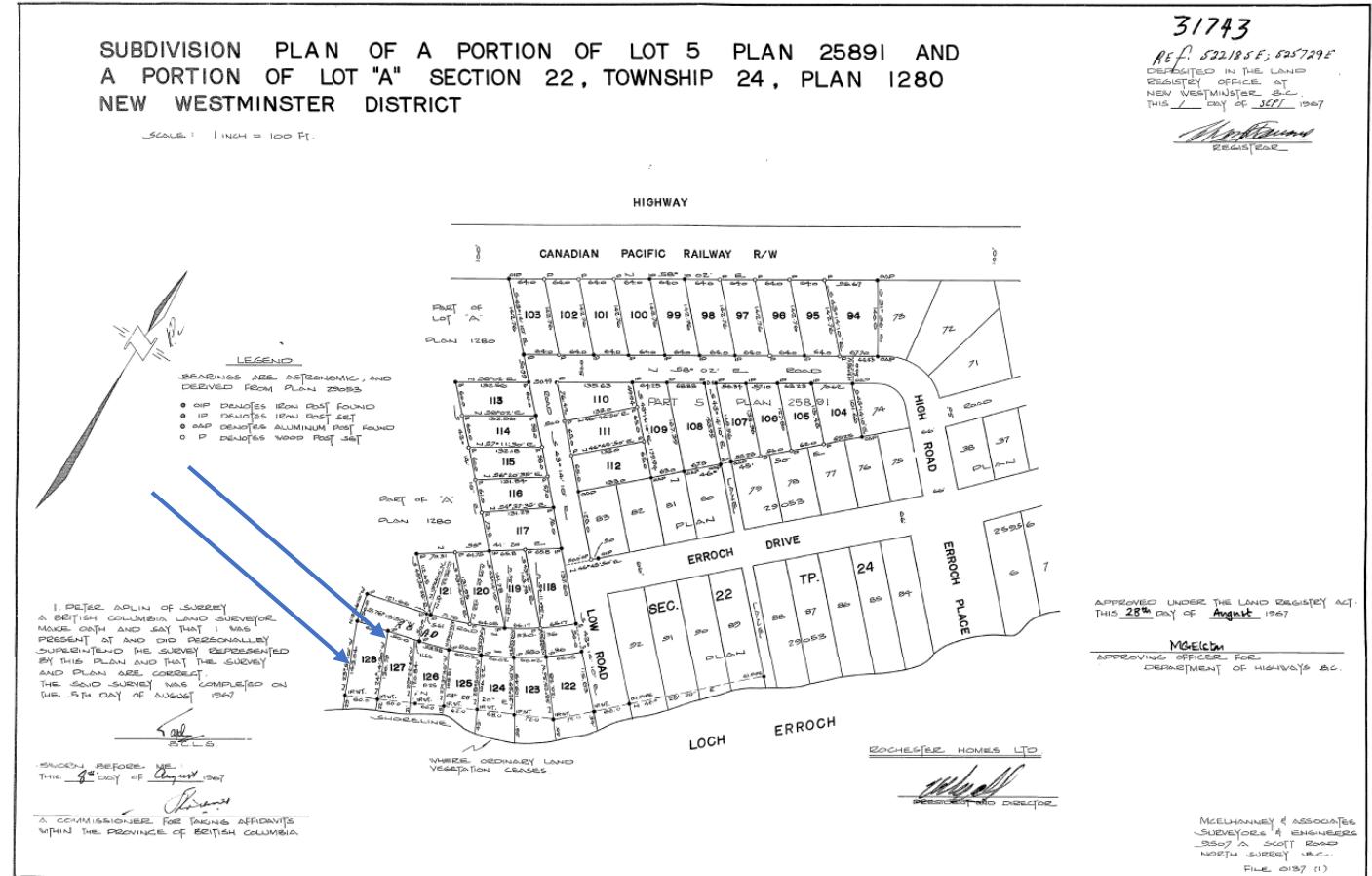
MOTION FOR CONSIDERATION

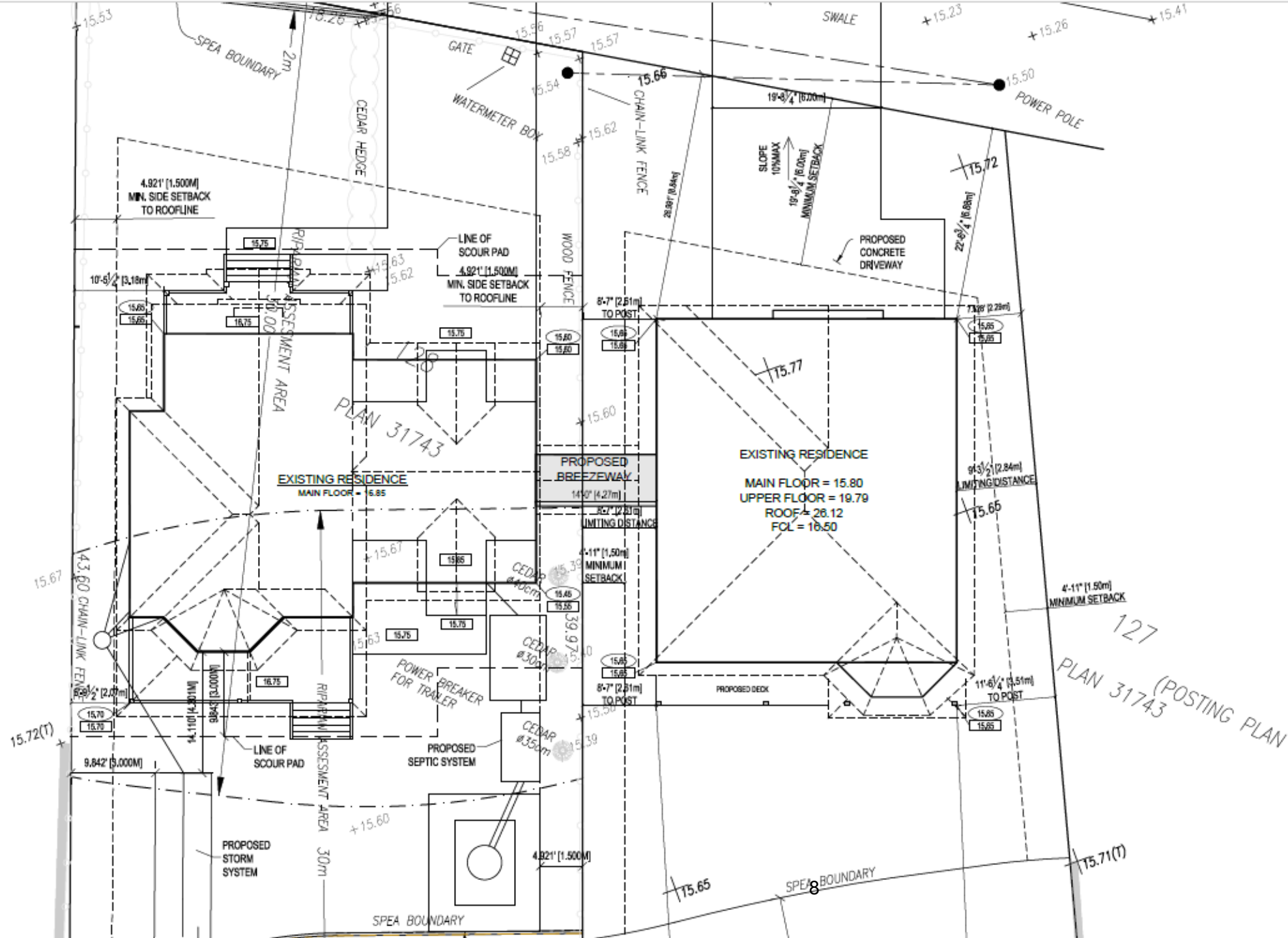
THAT the Electoral Area Services Committee Open Meeting of July 14, 2020 be adjourned.



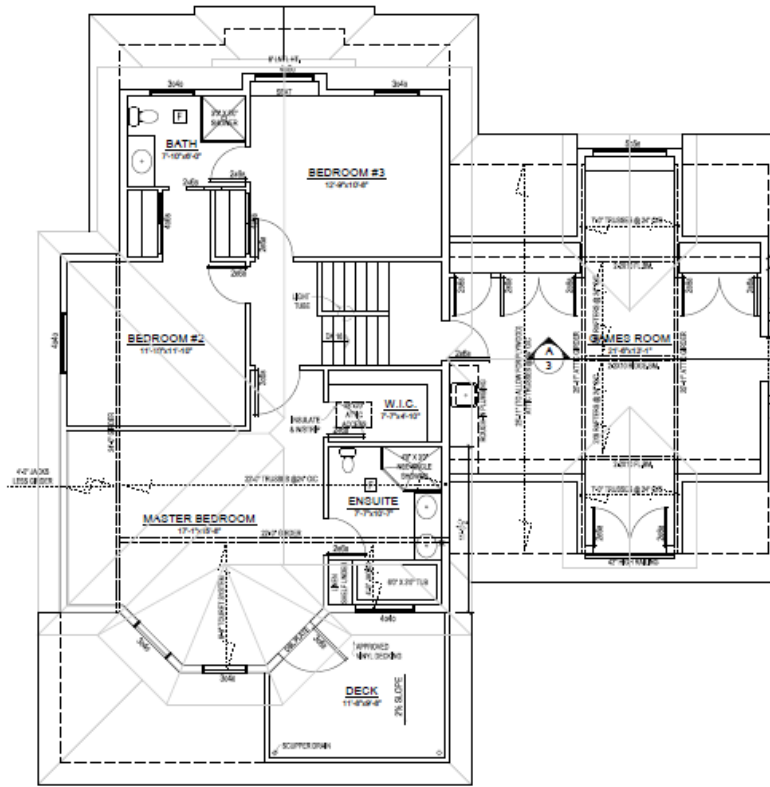
Development Variance Permit – 43836 Loch Road

- Owners propose to add a connecting hallway/breezeway on the 2nd floor between two adjoining properties with the same owners in Lake Errock on Loch Road
- The skywalk will connect the single family residences at 43836 & 43830 Loch Road



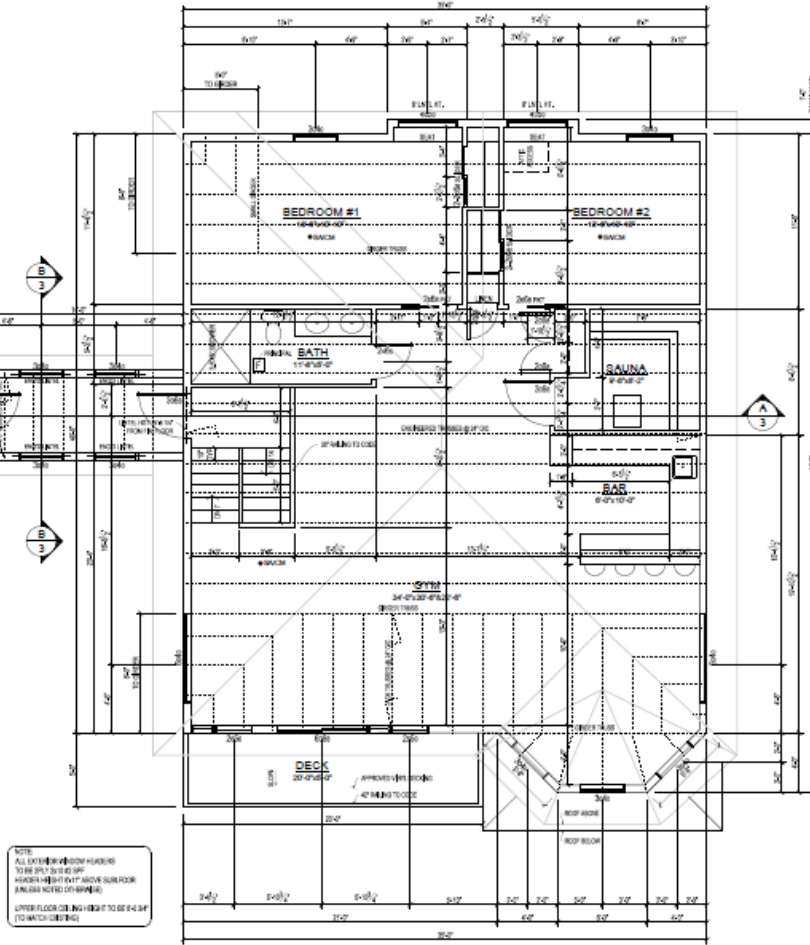


- Skywalk respects current riparian restrictions and other geohazard covenant requirements
- Can be built to be removed if the properties no longer owned by current owners



EXISTING RESIDENCE PLAN

SCALE: 1/4"=1'-0"



UPPER FLOOR PLAN

SCALE: 1/4"=1'-0"

1453 SQ. FT.

NOTE: BUILDER AND/OR OWNER IS TO VERIFY ALL ON SITE CONDITIONS, DIMENSIONS AND STRUCTURE PRIOR TO CONSTRUCTION. 4TH DIMENSION DESIGN & DRAFTING SERVICES DOES NOT ACCEPT ANY RESPONSIBILITY FOR DISCREPANCIES BETWEEN THESE DRAWINGS AND ON SITE CONDITIONS.

43836 LOCH RD.
LAKE ERNOC, BC

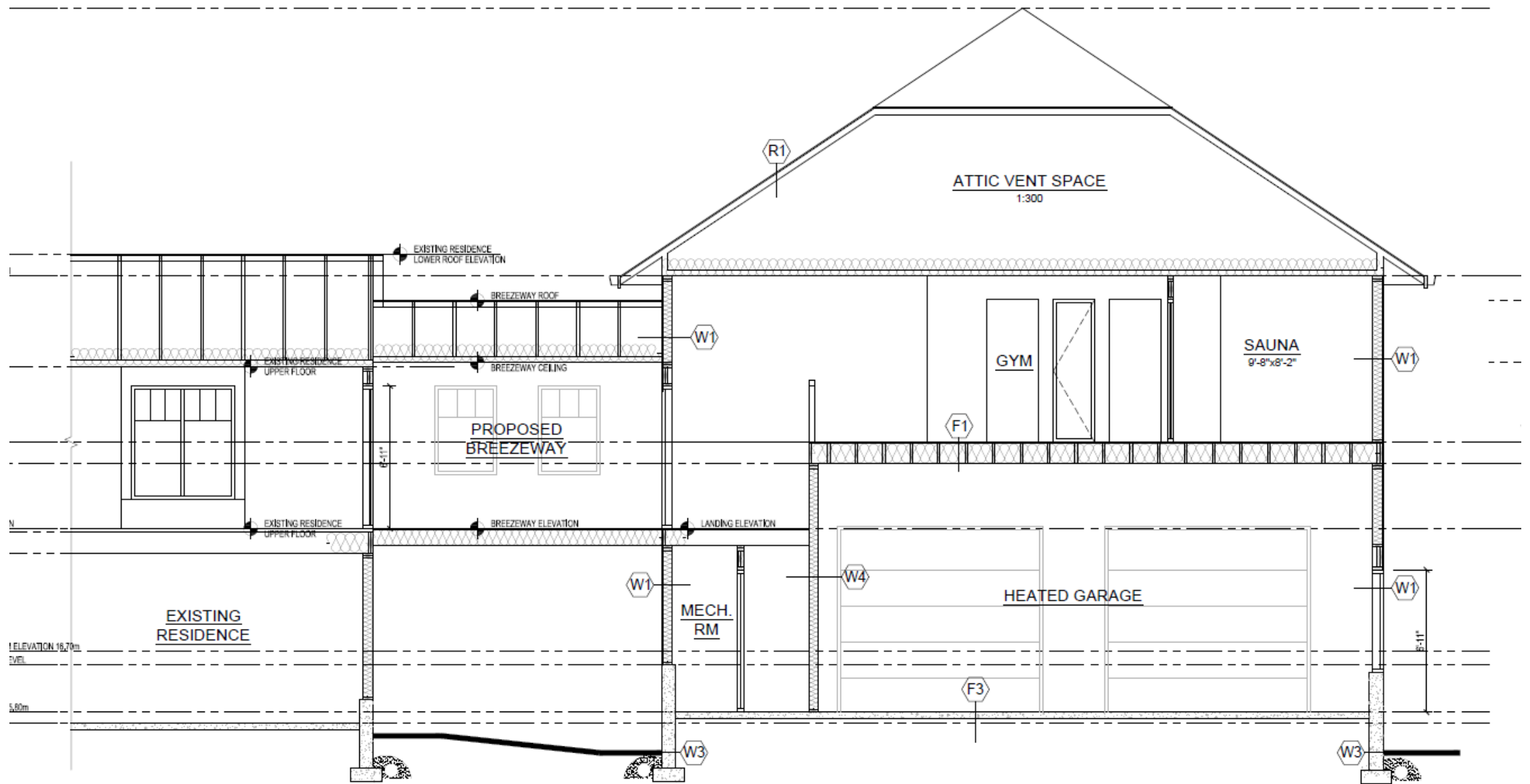
4TH DIMENSION DESIGN + DRAFTING
3392 1ST AVE. MISSION, BC V2Y 1G2
P 604.507.5455 C 604.82.8811
www.4thdimension.com info@4thdimension.com

REMPLE RESIDENCE

2
OF 6

MAIN FLOOR PLAN
UPPER FLOOR PLAN

DATE: 01-13-2020
PROJECT: R-19-119
DRAWN BY: J.M.
CHECKED BY: M.J.



SECTION A

SCALE: 1/4"=1'-0"

Reasons in support of the application

- Owner Denise Rempel is in active treatment for lung and spinal cancer – she had previously been in remission after two years of chemotherapy treatments that have severely weakened her – the Rempel's hope is with easy access to the new gym space, she will be able to re-strengthen herself and enjoy her senior years after 50 years of hard work
- After three hip replacements and five hip surgeries, not climbing the stairs would give her welcome relief
- Denise's doctors have recommended that her physical recovery include the gym and sauna while not using the stairs – copies of Denise's medical records are available upon request

Reasons in support of the application, cont.

- With the hallway, emergency egress from one house will be increased by 100%
- Emergency egress from the upper floor of the second will also be increased by 100%
- Owners' elderly parents will be at less risk of falling due to a reduce amount of stairs, doors and exterior elements while making their way between the dining room and their bedrooms

Skywalk construction intentions

- It is our intention that the proposed skywalk be constructed with the following in mind;
 - A covenant be placed on both properties if requested ensuring that if either property is sold (independently or together), the proposed skywalk be removed at no cost to the new homeowners.
 - The proposed skywalk will not compromise the structural integrity of either building and the addition or removal would not impact the integrity of either building.
 - Although we have included a proposed plan for the skywalk with our desires in mind, we are open to changing final details of its final construction should this plan not meet approval.
 - The construction underway at 43836 Loch Road meets all requirements of a single-family residence.

Neighbouring properties in support

- The Rempel's have received letters of support from their neighbours
 - Cora Lynn McNeilage – 43820 Loch Road
 - Barb & Keith Heuchert – 43822 Loch Road
 - Tom McNeilage – 12463 Aplin Road
 - Mike Armstrong – 44156 Bayview Road
 - Cathy Eberts & Dennis Heth – 44027 Squakum Road
 - Judy Edward (immediately neighbouring) – 43840 Loch Road
 - Reist family (immediately neighbouring) – 43807 Loch Road



There are existing
skywalks and breezeways
in British Columbia





To: Electoral Area Services Committee

Date: 2020-07-14

From: Andrea Antifaeff, Planner 1

File No: 3090-20-2020-08

Subject: Application for Development Variance Permit 2020-08 to reduce the interior side lot line setbacks at 43830 & 43836 Loch Road, Electoral Area C

RECOMMENDATION

THAT the Fraser Valley Regional District Board refuse Development Variance Permit application 2020-08 to reduce the interior side lot line setbacks from 1.5 metres to 0 metres to facilitate the construction of a second storey breezeway to connect two dwelling units on separate parcels at 43830 & 43836 Loch Road, Area C.

STRATEGIC AREA(S) OF FOCUS

Provide Responsive & Effective Public Services

BACKGROUND

The properties located at 43830 Loch Road (Lot A) & 43836 Loch Road (Lot B), Area C are owned by the same owners. The property owners have made an application for a Development Variance Permit (DVP) to vary the interior side lot line setbacks on each property from 1.5 metres to 0 metres to connect two dwellings units on separate parcels via a breezeway.

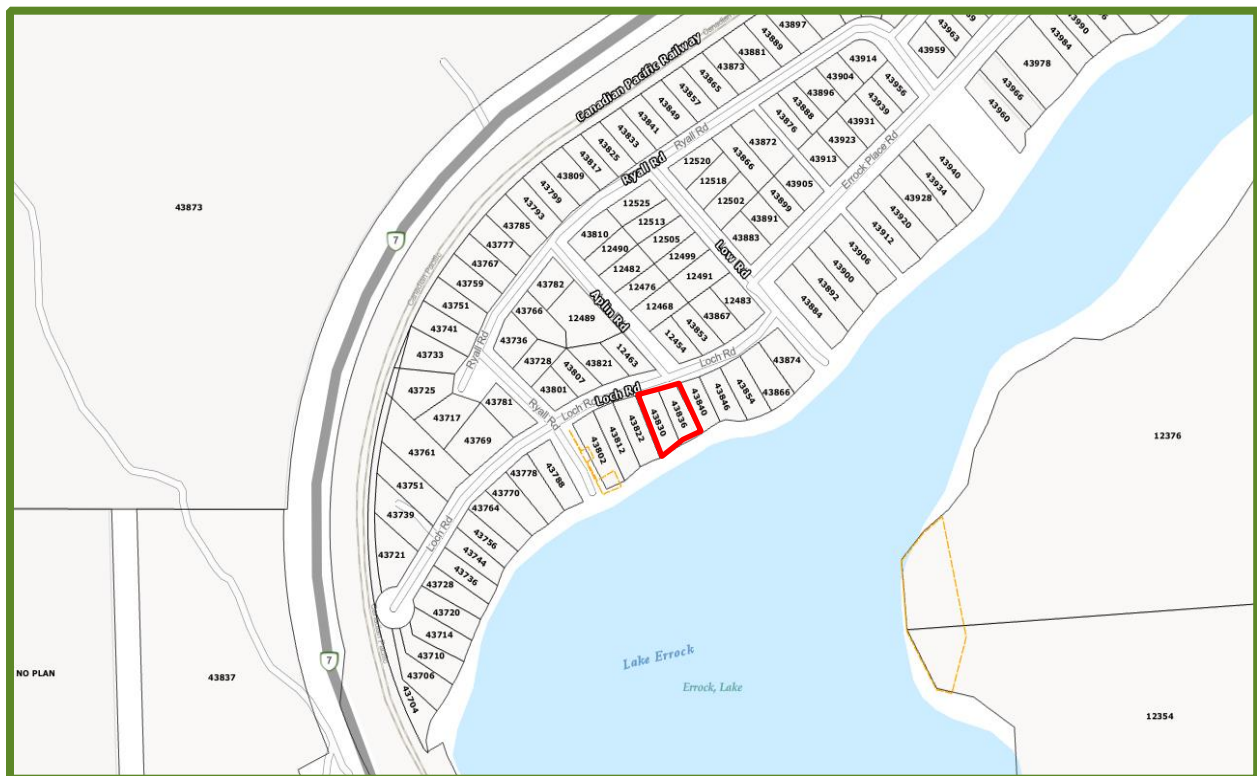
PROPERTY DETAILS			
Electoral Area	C		
Address	43830 & 43836 Loch Rd		
PID	006-667-759 & 006-668-054		
Folio	775.03727.355 & 775.03727.353		
Lot Size	0.19 acres & 0.18 acres		
Owner	Jeffrey & Denise Rempel	Agent	Lacey Developments (Claire Seymour)
Current Zoning	Rural Residential (RS-1)	Proposed Zoning	No change
Current OCP	Resort Residential (RR)	Proposed OCP	No change

Current Use	Residential	Proposed Use	No change
Development Permit Areas	2-C- Environmentally Sensitive Habitat Resources 3-C Riparian Areas		
Agricultural Land Reserve	No		

ADJACENT ZONING & LAND USES

North	^	Rural Residential (RS-1); Single-family Residential
East	>	Rural Residential (RS-1); Single-family Residential
West	<	Rural Residential (RS-1); Single-family Residential
South	v	Rural 4 (R-4); Lake Errock

NEIGHBOURHOOD MAP



PROPERTY MAP



DISCUSSION

The property owners completed construction of a single-family dwelling on Lot A in September 2014 and in October 2019 applied for a building permit to construct a single-family dwelling at the neighbouring property Lot B (which they purchased in 2015). The building permit for the dwelling on Lot B was issued in February 2020 and presented a single-family dwelling unit, which included two bedrooms and a gym area on the upper floor and a garage space on the ground floor.

In June 2020, the property owners applied for a development variance permit to facilitate the construction of a second storey breezeway to connect the two dwelling units located on separate parcels. The proposed breezeway includes four windows, is 14 feet (4.27 metres) long, approximately 5 feet (1.5 meters) wide, 11 feet (3.37 metre) high and the underside of the floor is located at 2.87 metres (9.4 feet) above grade. The proposed breezeway would be located crossing over the interior property line located between Lot A and B.

Upon receipt of the DVP application, staff reviewed the proposal and informed the agent for the application that staff felt the application was un-approvable as a result of BC Building Code requirements and, as a result, staff would not be supportive of the application. Staff advised the agent that their concerns regarding the application should be discussed with the property owners and noted

that the application could be withdrawn. At a later date, the agent advised that the property owners still wished to proceed with the DVP application.

BC Building Code

The FVRD Building Department has reviewed the construction drawings submitted with the DVP application in relation to the BC Building Code. The BC Building Code requires that two dwelling units connected at a property line be separated by a party wall having a fire-resistance rating of not less than 1 hour, additionally, the separation must provide continuous protection from the top of the footing to the underside of the roof deck.

The required separation must be constructed as a load-bearing structural wall from the foundation up to the roof and can not be located in a breezeway. These requirements are fundamentally incompatible with the proposed construction.

Zoning Bylaw

The intent of the zoning bylaw is to allow one detached dwelling unit on each parcel. The proposal to join separate dwelling units on adjacent parcels is not consistent with the intent of the zoning bylaw.

Application Rationale

The applicant has provided the following rationale for their variance request:

- The hallway egress from one dwelling unit will be increased by 100% and the emergency egress from the upper floor of the second dwelling unit will be increased by 100%;
- The property owners elderly parents will be at less risk of falling due to a reduced amount of stairs, doors and exterior elements to contend with while making their way between the dining room and their bedrooms;
- One of the property owners is in remission from cancer after two years of chemo treatments which have severely weakened her. The hope is with easy access to the new gym, she will be able to re-strengthen herself and enjoy her senior years; and,
- In addition after three hip replacements and five hip surgeries, not climbing that many stairs would give her a welcomed relief.

Alternative Solutions

In order to achieve the goals of the applicant's objectives for the variance, staff feel there are alternatives for the applicant's consideration that would achieve similar benefits:

- The two parcels (Lot A and Lot B) could be consolidated into one parcel. Both parcels are located on the same legal plan (NWP31743) and consolidation could be done by a BC Land Surveyor and filed to LTSA without any subdivision process and involvement from the FVRD or MOTI. The second dwelling at 43836 Loch Road would need to have the cooking facility removed in order to be in compliance with zoning regulations;

- Reconfiguration of the floorplans for the dwelling located on Lot B which is still under construction to provide living space on the first floor;
- An elevator or lifts could be installed in the dwelling that is under construction for easy access to the second storey; and,
- A walkway at grade could be constructed to protect residents from outdoor elements (depending on the construction this may not require a building permit).

Neighbourhood Notification and Input

Should the application be forwarded to the FVRD Board for consideration, all property owners within 30 metres of the property will be notified by the FVRD of the development variance permit application and be given the opportunity to provide written comments or attend the Board meeting to state their comments. FVRD staff encourage the applicant to advise neighbouring property owners and residents of the requested variance in advance of the mail-out notification. To date, six letters of support have been received (Appendix C).

COST

The application fee of \$1,300.00 has been paid by the applicant.

CONCLUSION

The property owners have applied for a variance to reduce the interior side lot line setbacks to facilitate the construction of a second storey breezeway to connect two dwelling units on separate parcels. Staff recommend refusal of DVP application 2020-08 as the proposal does not meet BC Building Code requirements and there are alternative approaches to the proposed breezeway that would likely have the same benefits and would be in compliance with the BC Building Code and zoning regulations.

OPTIONS

Option 1 – Refuse (Staff Recommendation)

Staff recommend that the Fraser Valley Regional District Board refuse Development Variance Permit application 2020-08 to reduce the interior side lot line setbacks from 1.5 metres to 0 metres to facilitate the construction of a second storey breezeway to connect two dwelling units on separate parcels at 43830 & 43836 Loch Road, Area C

Option 2 – Refer to Staff

If the Board wishes to refer the application back to staff to work with the applicants to revise the proposal, the following motion would be appropriate:

MOTION: THAT the Fraser Valley Regional District Board refer the application for Development Variance Permit 2020-08 to FVRD staff.

COMMENTS BY:

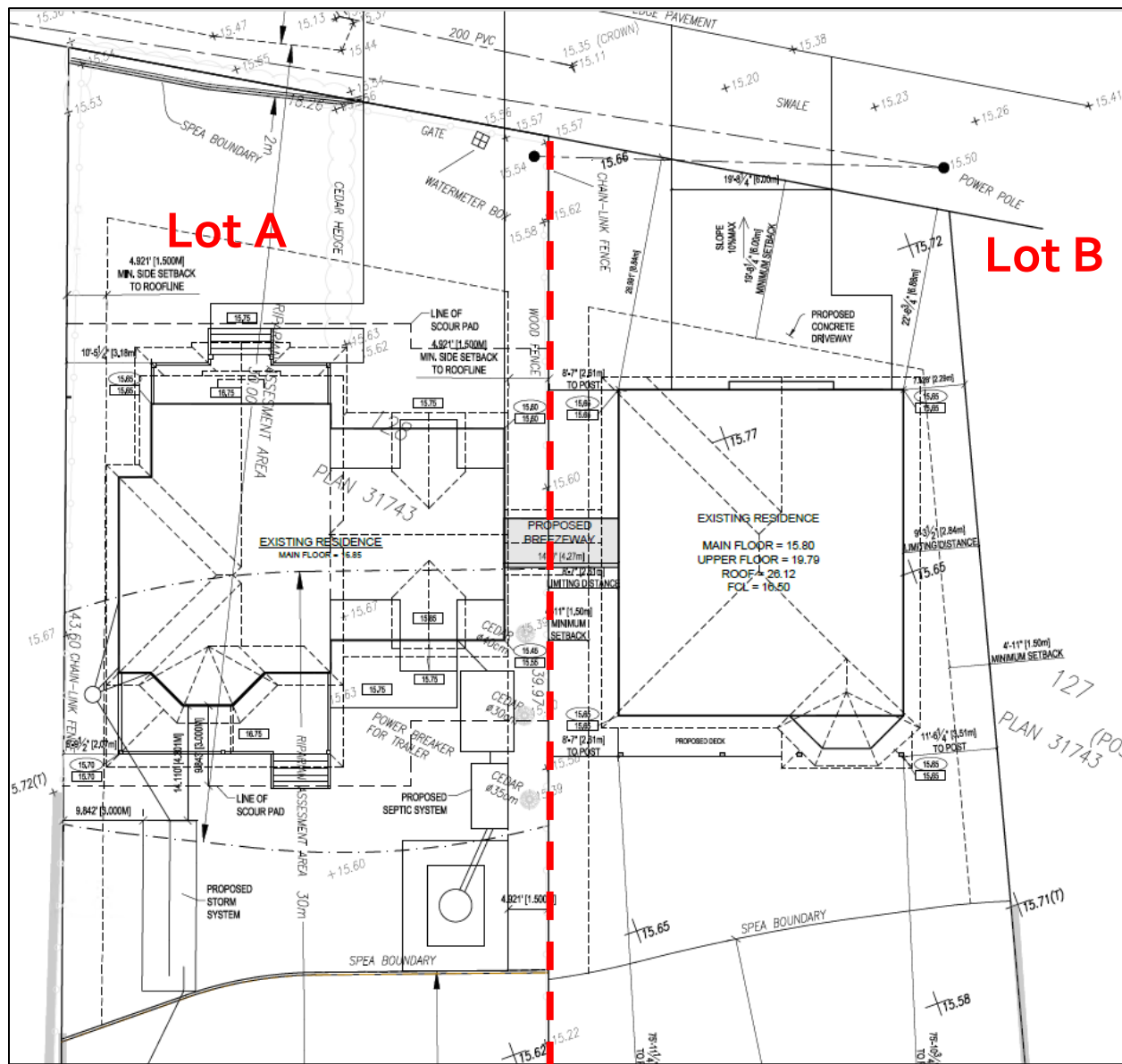
Graham Daneluz, Director of Planning & Development: Reviewed and supported.

Kelly Lownsbrough, Chief Financial Officer/Director of Finance: Reviewed and supported.

Jennifer Kinneman, Chief Administrative Officer: Reviewed and supported.

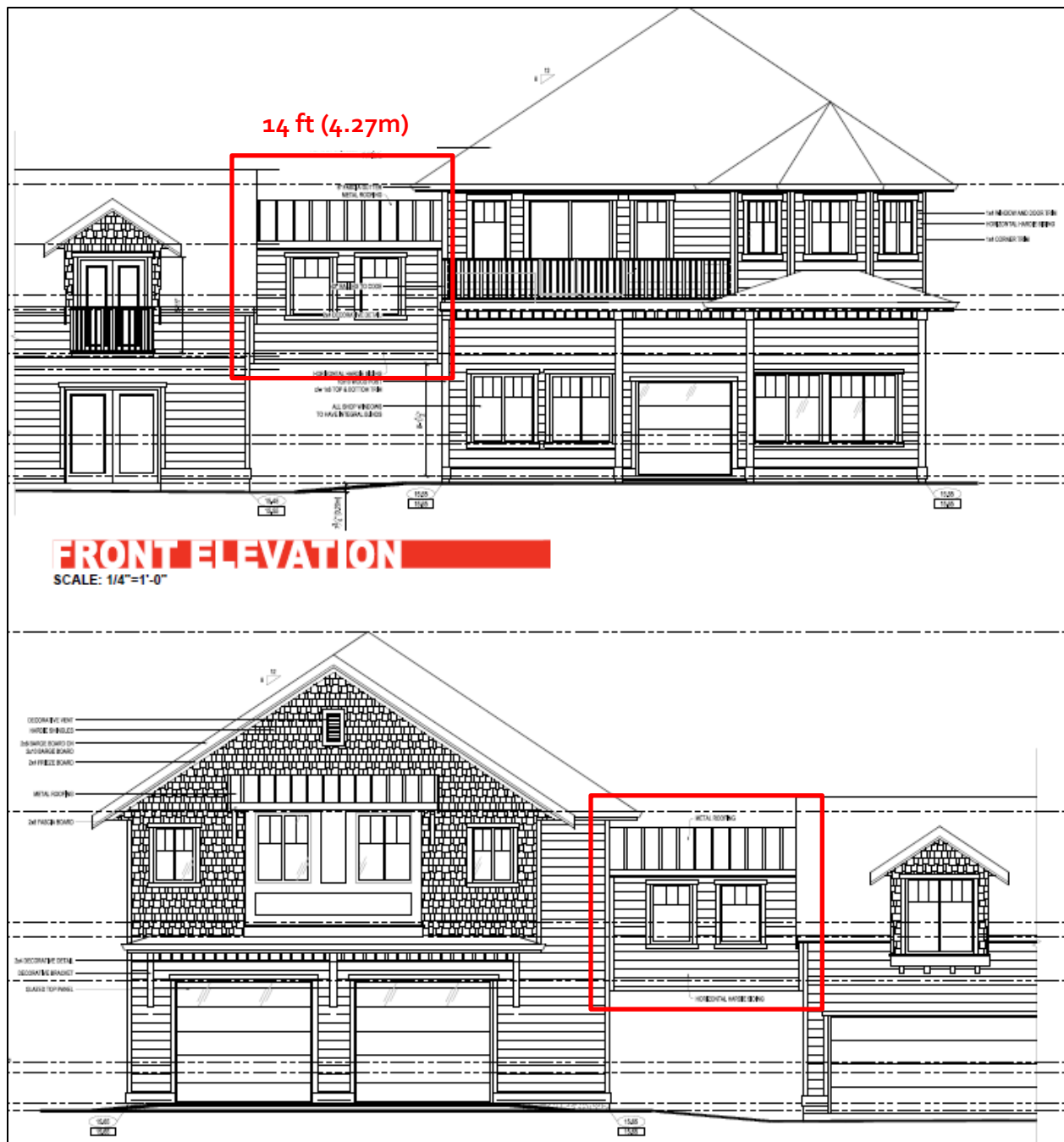
Appendix A

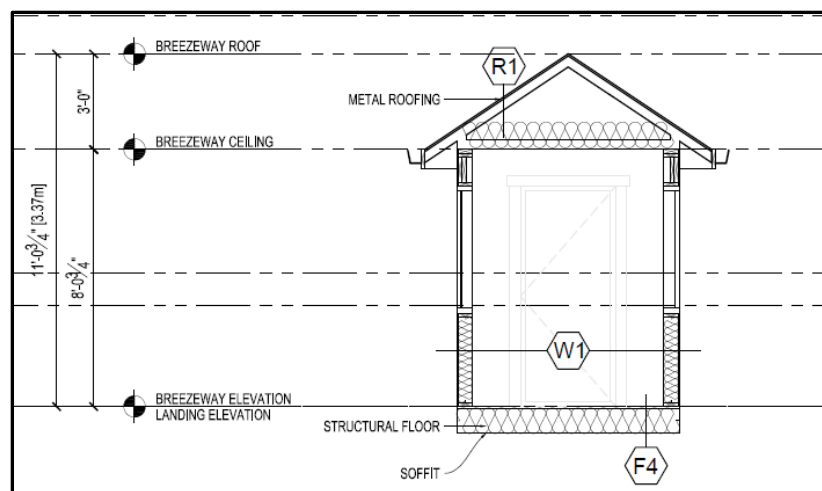
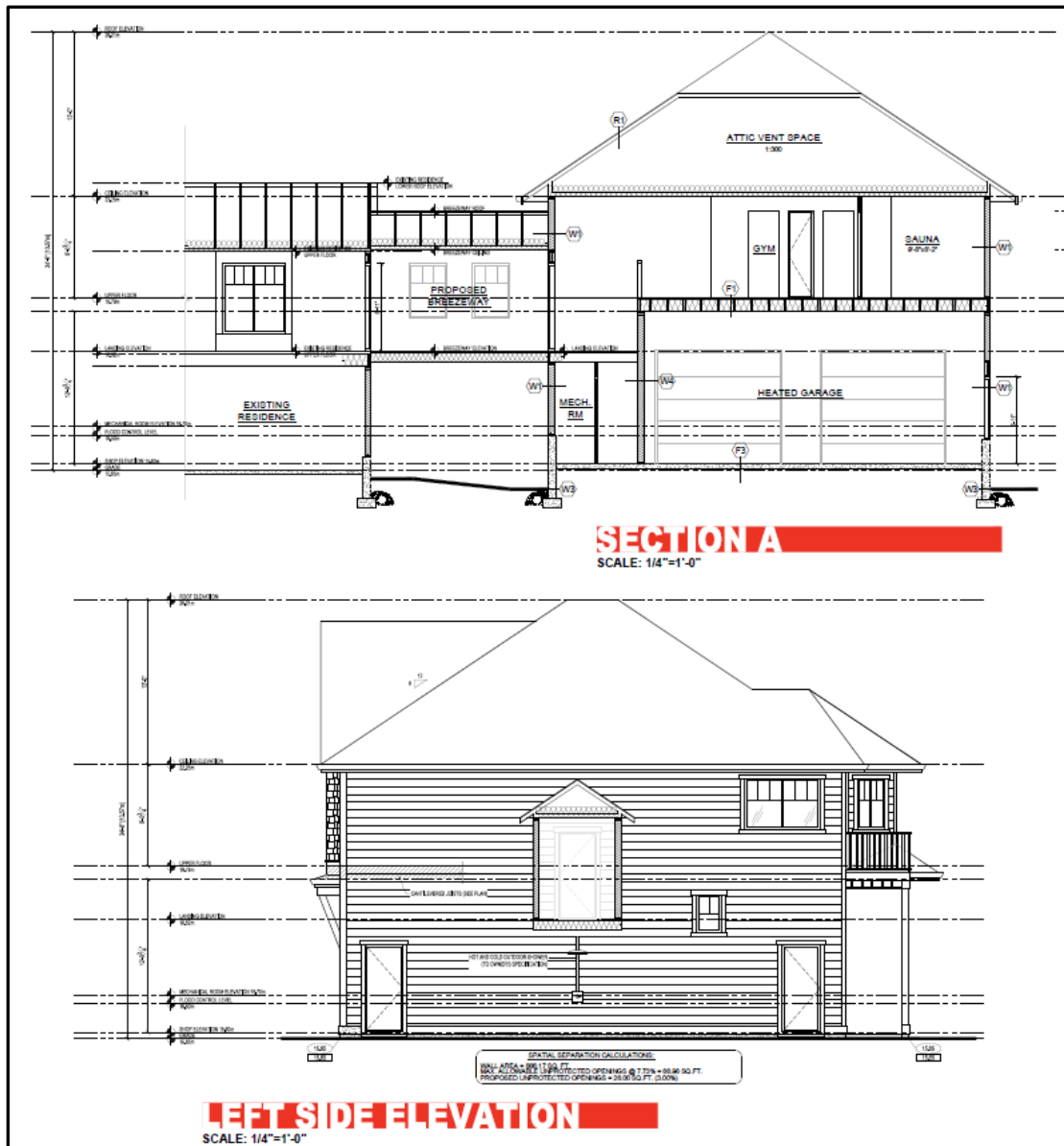
Site Plan



Property Line

Construction Drawings





Appendix C

Letters of Support

Claire Seymour

From: Denise
Sent: May-23-20 4:30 PM
To: Claire Seymour; Lesa Lacey
Subject: Fwd: Breezeway

Email from neighbor at 43820 (2 houses West)
Denise
Sent from my iPad

Begin forwarded message:

From: Cora-Lynn McNeilage
Date: May 23, 2020 at 12:21:48 PM PDT
To:
Subject: Breezeway

Hi Jeff and Denise,

Your new house under construction looks great! We have no concerns with you constructing a breezeway to join your two homes.

Take care,

Cora-Lynn McNeilage
43812 Loch Rd, Lake Errock

Claire Seymour

From: KEITH HEUCHERT
Sent: May-22-20 4:29 PM
To: Claire Seymour
Subject: Breezeway for Jeff and Denise Rempel

To: FVRD Board of Variance
May 22, 2020

This is to confirm that we are in support of the Rempels' intention to construct a breezeway between their existing home and the second building now under construction. Their home and the second building are tastefully designed. The exterior and the property are always immaculate. We are certain that this will be the same for a breezeway. For those reasons we have no hesitation in supporting the Rempels' request for approval of a breezeway.

Yours truly,
Barb and Keith Heuchert
43822 Loch Road

Claire Seymour

From: Denise
Sent: May-23-20 4:31 PM
To: Claire Seymour; Lesa Lacey
Subject: Fwd: Breezeway

Tom (2houses West) see email

Denise
Sent from my iPad

Begin forwarded message:

From: Tom McNeilage
Date: May 22, 2020 at 7:27:20
Subject: Breezeway

Hi Denise and Jeff,

Thanks for reaching out to solicit my opinion on the joining of your two buildings with a breezeway. I think it would be a pleasant architectural touch and we have no issue with it.

Regards,

Tom McNeilage
12463 Apiin Rd, Lake Errock..

Claire Seymour

From: Cathy Elbert
Sent: May-24-20 2:14 PM
To: Lesa Lacey; Claire Seymour
Subject: REMPEL CONSTRUCTION/LAKE ERROCK

Please accept this letter as our approval of the addition of a breezeway between the main home of Jeff and Denise Rempel, and the new building adjacent with their gym and reading room etc. Not only will it be aesthetically pleasing and add to the beauty of their property, it will be a sheltered and safe access for all seasons.

Cathy Eberts and Dennis Heth
Lake Errock BC

Sent from my iPad

Claire Seymour

From: Denise
Sent: May-25-20 6:00 AM
To: Claire Seymour; Lesa Lacey
Subject: From Judy

From: Judy Edward
Date: May 24, 202
To: Denise
Subject: Hi

To Whom It May Concern I, Judith M Edward owner of property at 43840 Loch Road, Lake Errock, B.C. V0M 1N0 have no problem with the breezeway at 43836-38 Loch Road, property owned by Denise Rempel and Jeff Rempel. This would make the two houses look good together.

Judith M. Edward

May 29, 2020

To whom it may concern,

Re: Rempel Breezeway

We are neighbors with the Rempel family. We have no concerns with the breezeway planned to connect the main house to the new building. The breezeway will support the family's need for accessibility and, if constructed with windows, may retain the community's ability to enjoy the lake view.

A handwritten signature in black ink, appearing to be 'Reist', with a stylized flourish extending from the bottom left.

Reist Family
43807 Loch Rd.
Lake Errock BC. V0M 1N0

SCHEDULE A-4

Permit Application

I / We hereby apply under Part 14 of the *Local Government Act* for a;

☒ Development Variance Permit

☐ Temporary Use Permit

☐ Development Permit

An Application Fee in the amount of \$ 1300.00 as stipulated in FVRD Application Fees Bylaw No. 1231, 2013 must be paid upon submission of this application.

Civic Address 43836 Loch Road, Lake Errock BC PID 006-668-054

Legal Description Lot 127 Block _____ Section 22 Township 24 Range _____ Plan NWP31743

The property described above is the subject of this application and is referred to herein as the 'subject property.' This application is made with my full knowledge and consent. I declare that the information submitted in support of the application is true and correct in all respects.

Owner's
Declaration

Name of Owner (print) Denise M Rempel	Signature of Owner 	Date 5/18/2020
Name of Owner (print) Jeffrey A Rempel	Signature of Owner 	Date 5/18/2020

Owner's
Contact
Information

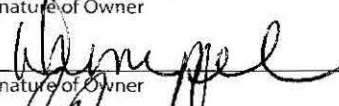
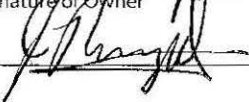
Address 43830 Loch Road		City Lake Errock
Email		Postal Code V0M 1N0
Phone	Cell	Fax

Office Use Only	Date	File No.
	Received By	Folio No.
	Receipt No.	Fees Paid: \$

Agent

I hereby give permission to CLAIRE SEMOUR to act as my/our agent in all matters relating to this application.

Only complete this section if the applicant is NOT the owner.

Signature of Owner 	Date <u>5/20/20</u>
Signature of Owner 	Date <u>5/20/20</u>

Agent's contact information and declaration

Name of Agent <u>CLAIRE SEMOUR</u>		Company <u>LAKY DEVELOPMENTS</u>
Address <u>Box 113</u>		City <u>DELOCHE</u>
Email		Postal Code <u>V0M 1G0</u>
Phone	Cell	Fax

I declare that the information submitted in support of this application is true and correct in all respects.

Signature of Agent 	Date <u>MAY 28, 2020</u>
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Development Details

Property Size 8150 sqft Present Zoning RS-1

Existing Use Residential

Proposed Development to add a raised hallway between two houses

Proposed Variation / Supplement existing application approved is construction of new residence next to another residence without any connecting structure, the variation is to add a connecting hallway on the 2nd floor

(use separate sheet if necessary)

Reasons in Support of Application - With the hallway emergency egress from one house will be increased by 100%. Emergency egress from the upper floor of the second house will also be increased by 100%

- Our elderly parents will be at less risk of falling due to a reduced amount of stairs and doors and exterior elements to contend with while making their way between the dining room and their bedrooms

- My wife Denise is in remission from cancer after two years of chemo (see additional page) **PAGE 2B**

Page 2 of 4

Page 2B

Reasons in support of application (continued)

Treatments which has severely weakened her. Our hope is that with easy access to our new gym, she will be able to re-strengthen herself and enjoy her senior years after some 50 years of hard work.

After three hip replacements and five hip surgeries, not climbing the many stairs would give her a very welcomed relief.

**Riparian
Areas
Regulation**

Please indicate whether the development proposal involves residential, commercial, or including vegetation removal or alteration; soil disturbance; construction of buildings and structures; creation of impervious or semi-pervious surfaces; trails, roads, docks, wharves, bridges and, infrastructure and works of any kind – within:

yes
☐

no
☒

30 metres of the high water mark of any water body

yes
☐

no
☒

a ravine or within 30 metres of the top of a ravine bank

“Water body” includes; 1) a watercourse, whether it usually contains water or not; 2) a pond, lake, river, creek, or brook; 3) a ditch, spring, or wetland that is connected by surface flow to 1 or 2 above.

Under the *Riparian Areas Regulation* and the *Fish Protection Act*, a riparian area assessment report may be required before this application can be approved.

**Contaminated
Sites Profile**

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed “Site Profile” for properties that are or were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*. Please indicate if:

yes
☐

no
☒

the property has been used for commercial or industrial purposes.

If you responded ‘yes,’ you may be required to submit a Site Profile. Please contact FVRD Planning or the Ministry of Environment for further information.

**Archaeological
Resources**

Are there archaeological sites or resources on the subject property?

yes
☐

no
☒

I don't know
☐

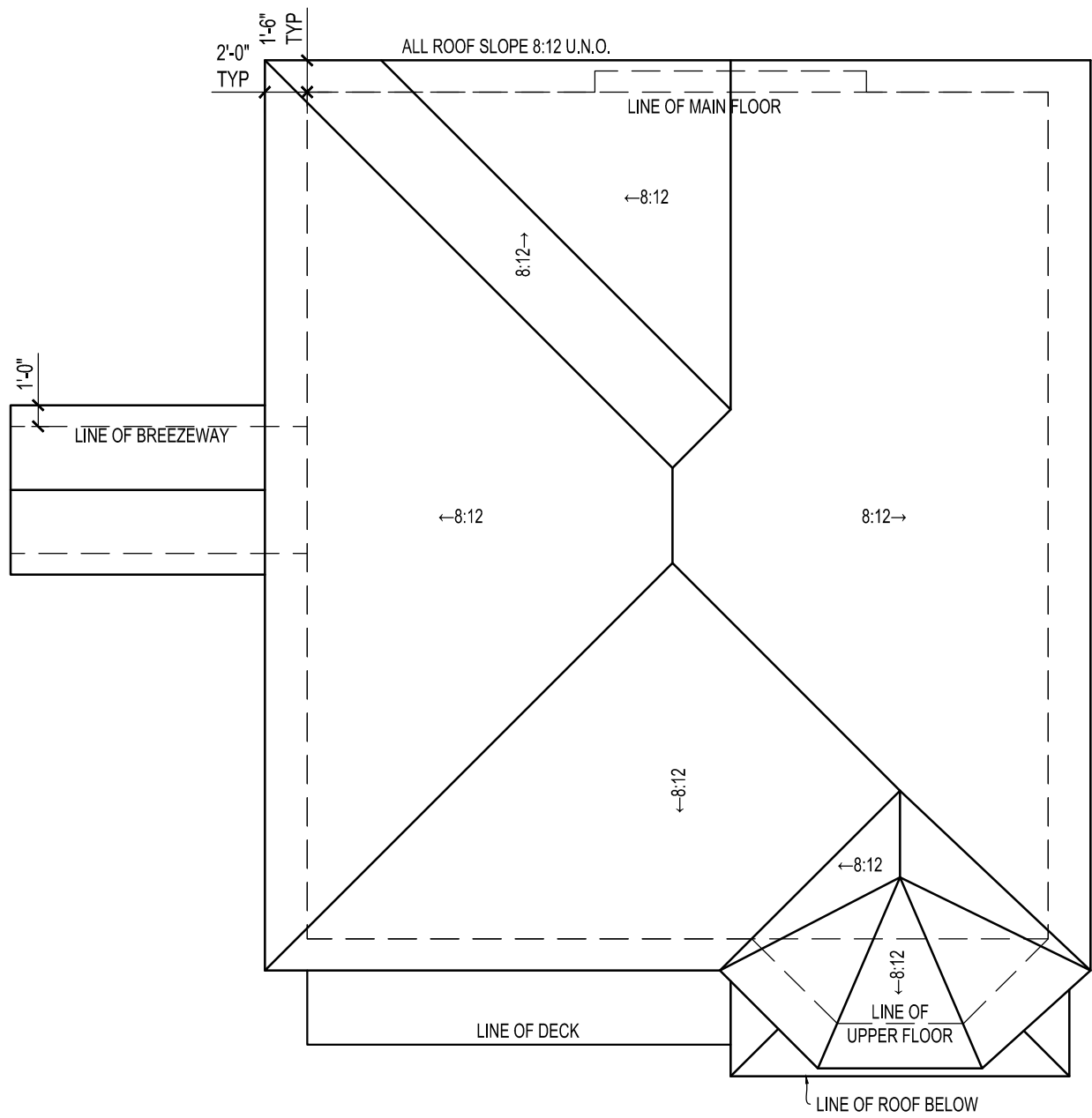
If you responded ‘yes’ or ‘I don’t know’ you may be advised to contact the Archaeology Branch of the Ministry of Tourism, Sport and the Arts for further information.

Required Information

When providing Application Forms to the applicant, Regional District staff shall indicate which of the following attachments are required for this application. **Additional information may also be required at a later date.**

	Required	Received	Details
Location Map			Showing the parcel (s) to which this application pertains and uses on adjacent parcels
Site Plan			Reduced sets of metric plans
At a scale of:			North arrow and scale
1: _____			Dimensions of property lines, rights-of-ways, easements
			Location and dimensions of existing buildings & setbacks to lot lines, rights-of-ways, easements
			Location and dimensions of proposed buildings & setbacks to lot lines, rights-of-ways, easements
			Location of all water features, including streams, wetlands, ponds, ditches, lakes on or adjacent to the property
			Location of all existing & proposed water lines, wells, septic fields, sanitary sewer & storm drain, including sizes
			Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
			Natural & finished grades of site, at buildings & retaining walls
			Location of existing & proposed access, pathways
			Above ground services, equipment and exterior lighting details
			Location & dimensions of free-standing signs
			Storm water management infrastructure and impermeable surfaces
			Other:
Floor Plans			Uses of spaces & building dimensions
			Other:
Landscape Plan			Location, quantity, size & species of existing & proposed plants, trees & turf
Same scale as site plan			Contour information (_____ metre contour intervals)
			Major topographical features (water course, rocks, etc.)
			All screening, paving, retaining walls & other details
			Traffic circulation (pedestrian, automobile, etc.)
			Other:
Reports			Geotechnical Report
			Environmental Assessment
			Archaeological Assessment
			Other:

The personal information on this form is being collected in accordance with Section 26 of the *Freedom of Information and Protection of Privacy Act*, RSBC 1996 Ch. 165 and the *Local Government Act*, RSBC 2015 Ch. 1. It will only be collected, used and disclosed for the purpose of administering matters with respect to planning, land use management and related services delivered, or proposed to be delivered, by the FVRD. Questions about the use of personal information and the protection of privacy may be directed to the FVRD Privacy Officer at 45950 Cheam Avenue, Chilliwack, BC V2P 1N6, Tel: 1-800-528-0061 FOI@fvrd.ca.



ROOF PLAN
SCALE: 1/8"=1'-0"

ZONING ANALYSIS REVIEW		
LEGAL DESCRIPTION: LOT 127, PLAN NWP31743, SEC 22, TOWNSHIP 24, NEW WESTMINSTER LAND DISTRICT		
ZONING BYLAW: RS-1		
CIVIC ADDRESS: 43836 LOCH RD. LAKE ERROCK, B.C.		
FRONT SETBACK:	REQUIRED 6.00M	PROPOSED 6.88M
REAR SETBACK:	6.00M	23.13M
SIDE SETBACK: (right)	1.50M	2.61M
SIDE SETBACK: (left)	1.50M	2.29M
MAXIMUM HEIGHT	11.00M @ EAVE 9.00M @ EAVE	10.57M 6.60M @ EAVE
LOT COVERAGE:	40.00%	19.33%
BUILDING AREA:	1,575 SQ.FT.	
LOT AREA:	8150 SQ.FT.	

- PROPOSED FINISHED GRADE (M)
- EXISTING GRADE (M)

NOTE:
BUILDER AND/OR OWNER IS TO VERIFY
ALL ON SITE CONDITIONS, DIMENSIONS
AND STRUCTURE PRIOR TO
CONSTRUCTION. 4TH DIMENSION
DESIGN & DRAFTING SERVICES DOES
NOT ACCEPT ANY RESPONSIBILITY
FOR DISCREPANCIES BETWEEN THESE
DRAWINGS AND ON SITE CONDITIONS.

PROJECT TITLE:
43836 LOCH RD.
LAKE ERROCK, BC



4TH DIMENSION DESIGN + DRAFTING

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www.4ddrafting.com info@4ddrafting.com

REMPEL RESIDENCE

SHEET TITLE
**SITE PLAN
ROOF PLAN
ZONING ANALYSIS REVIEW**

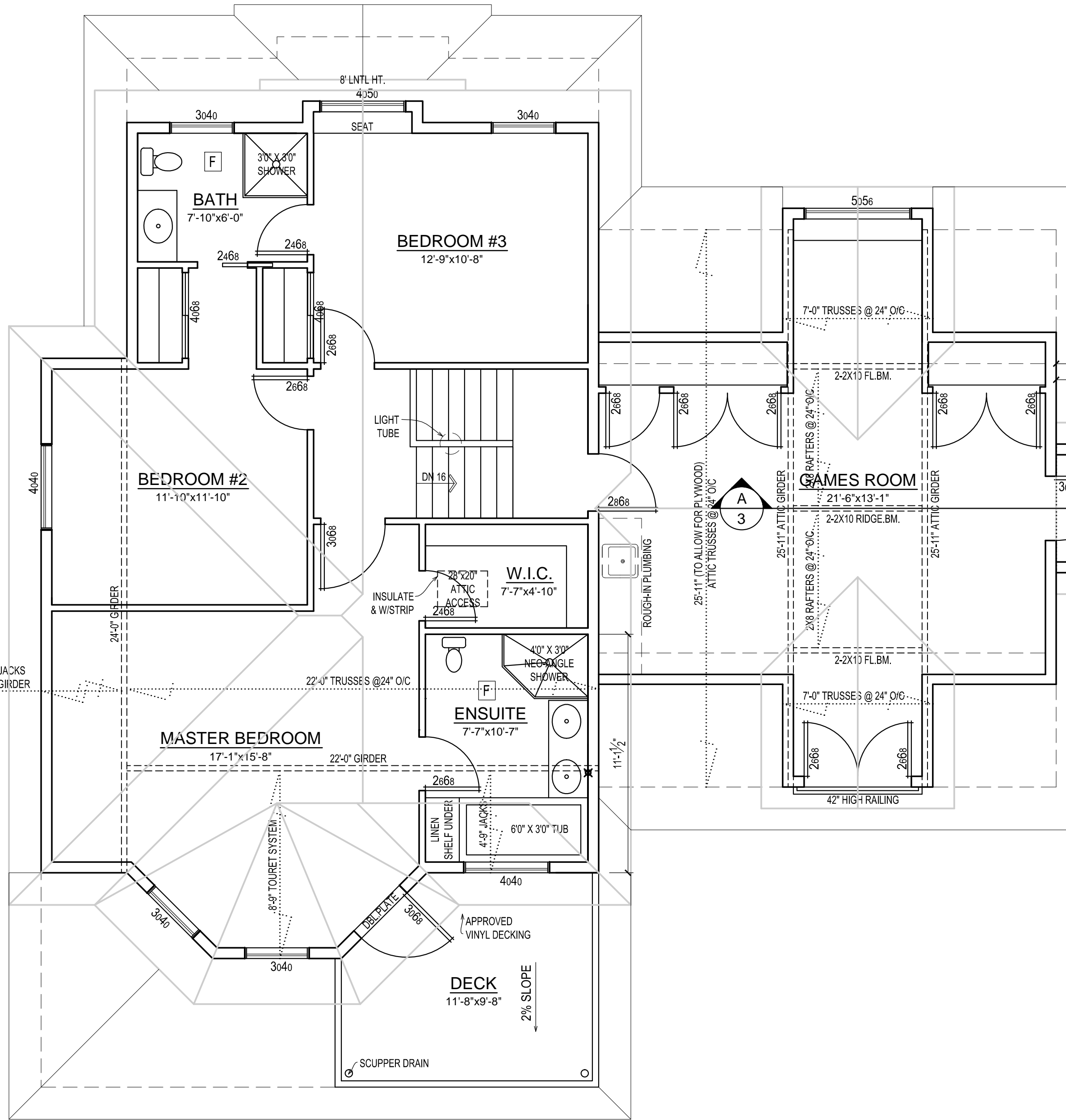
PAGE No:
1
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02.19.2020
PROJECT:
RN-19-119
DESIGNED/CHECKED:
JM
DRAWN:
MJ

SITE PLAN
SCALE: 1/128"=1'-0"
979,516 SQ.FT.

EXISTING RESIDENCE PLAN

SCALE: 1/4"=1'-0"

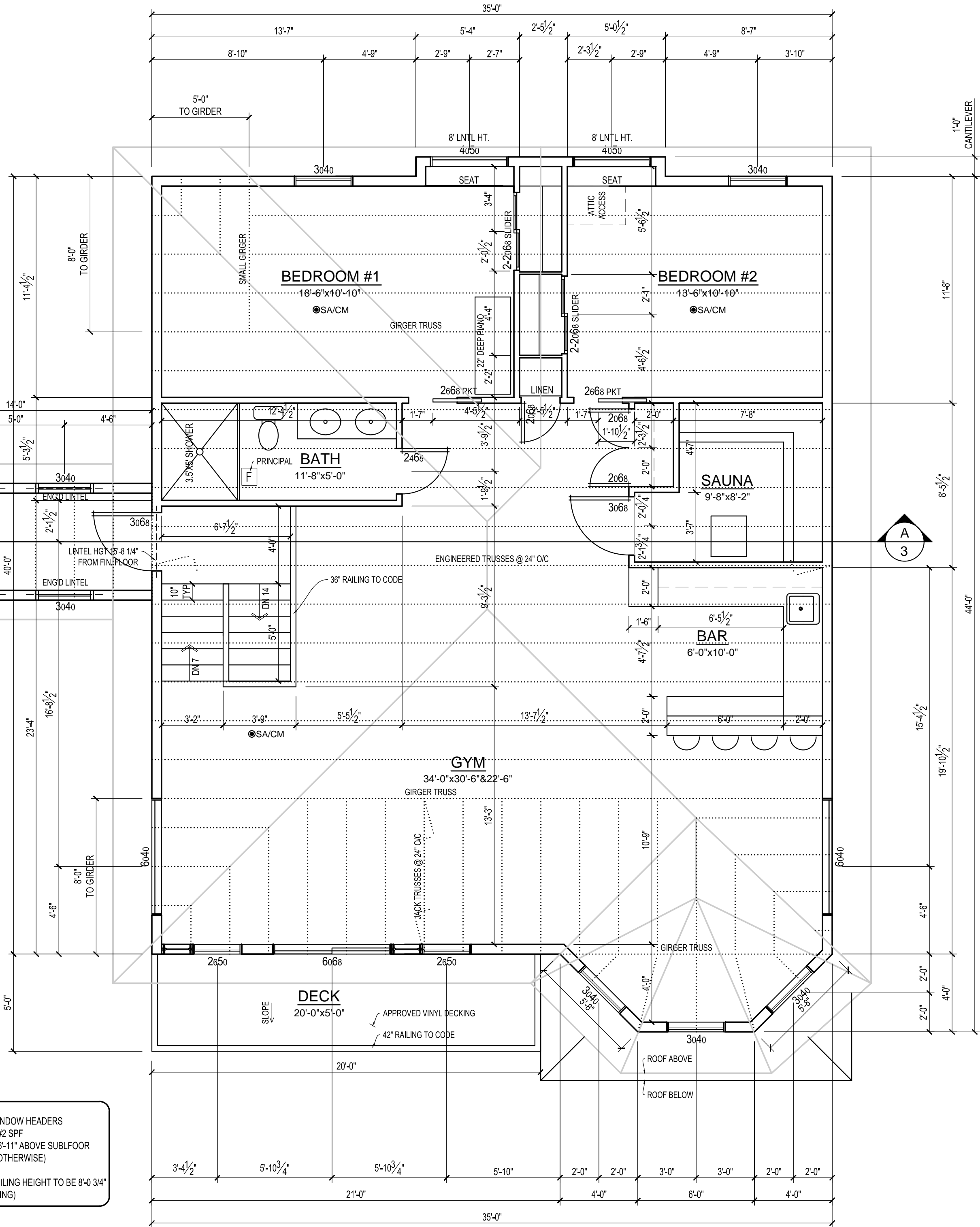


NOTE:
ALL EXTERIOR WINDOW HEADERS
TO BE 2"PLY 2x10 #2 SPF
HEADER HEIGHT 6-11" ABOVE SUBLFLOOR
(UNLESS NOTED OTHERWISE)
UPPER FLOOR CEILING HEIGHT TO BE 8'-0" 3/4"
(TO MATCH EXISTING)

UPPER FLOOR PLAN

1453 SQ. FT.

SCALE: 1/4"=1'-0"



NOTE:
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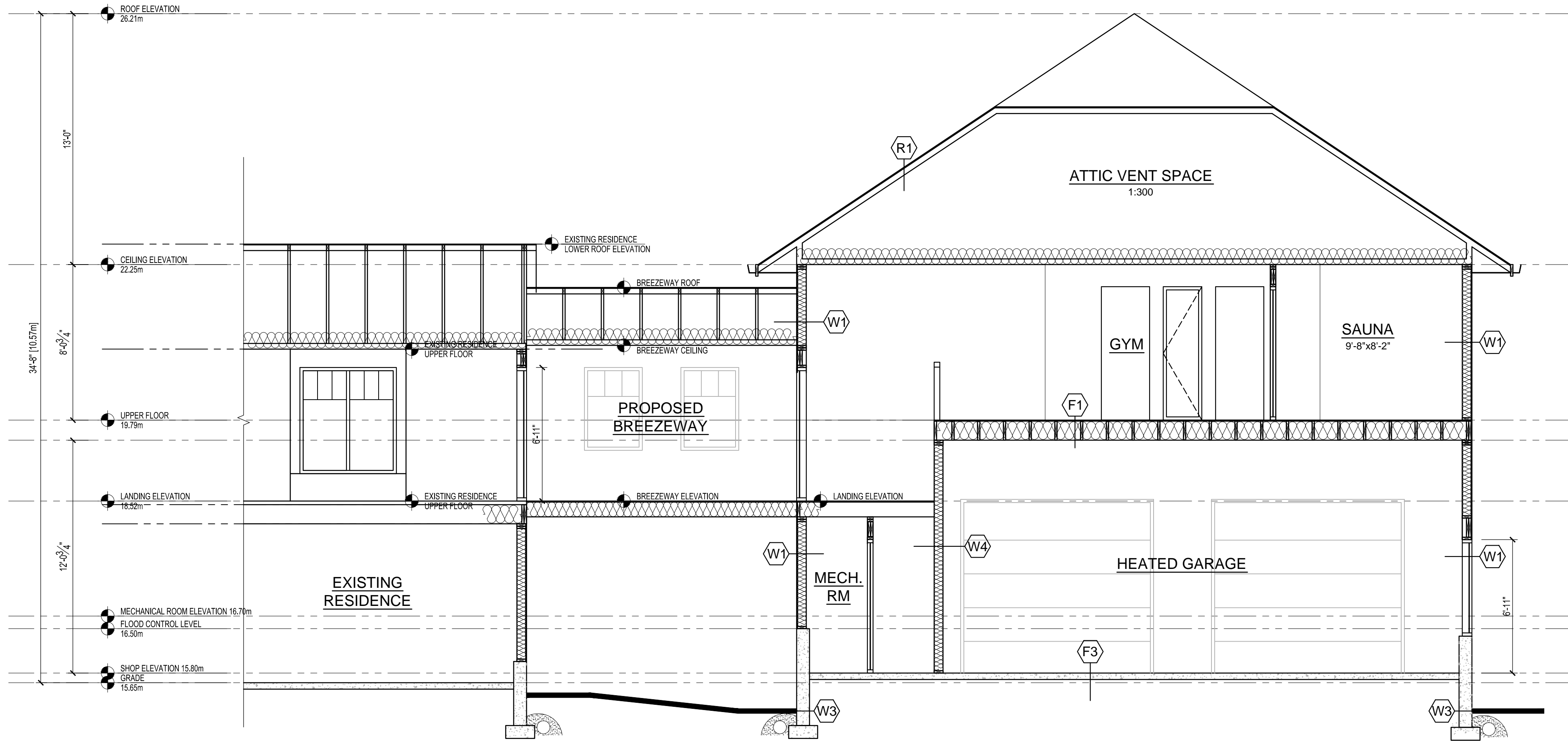
REV.	DATE	DESCRIPTION

REMPER RESIDENCE

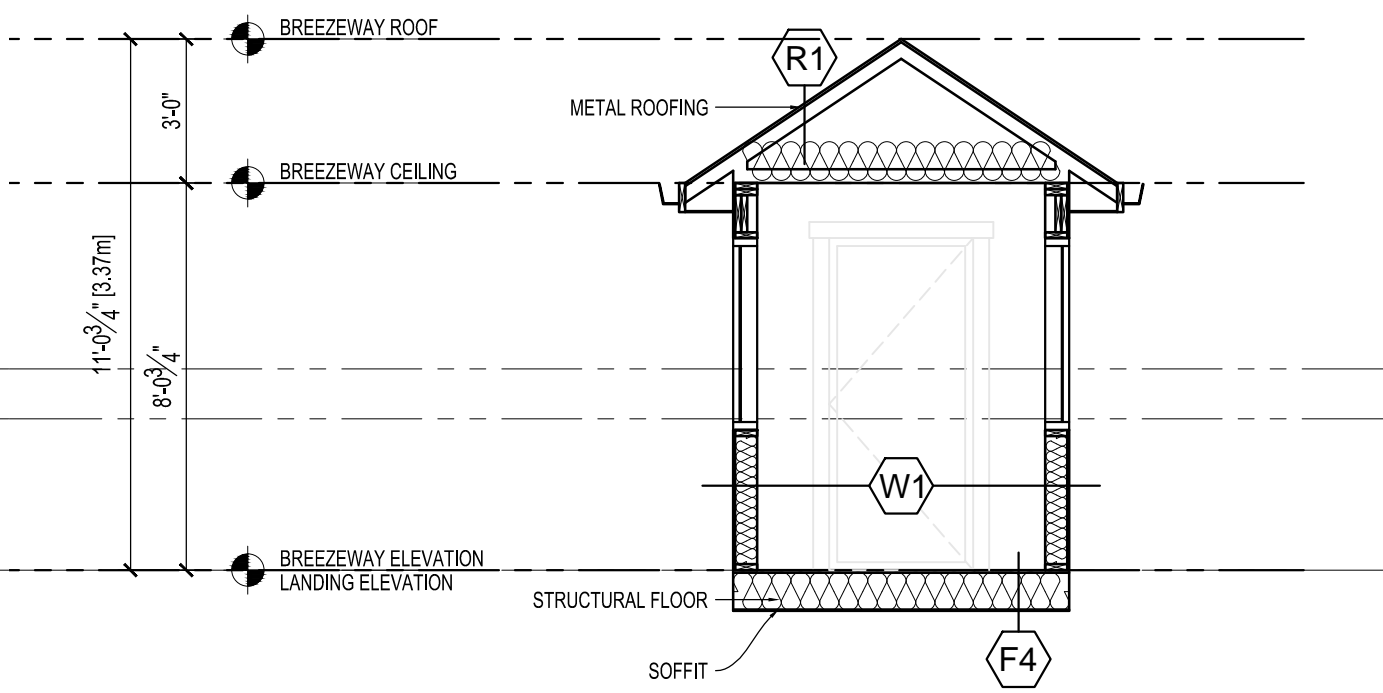
MAIN FLOOR PLAN
UPPER FLOOR PLAN

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RN-19-119
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DRAWN:
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SECTION A
SCALE: 1/4"=1'-0"



SECTION B
SCALE: 1/4"=1'-0"

SPECIFICATIONS

WALL ASSEMBLIES

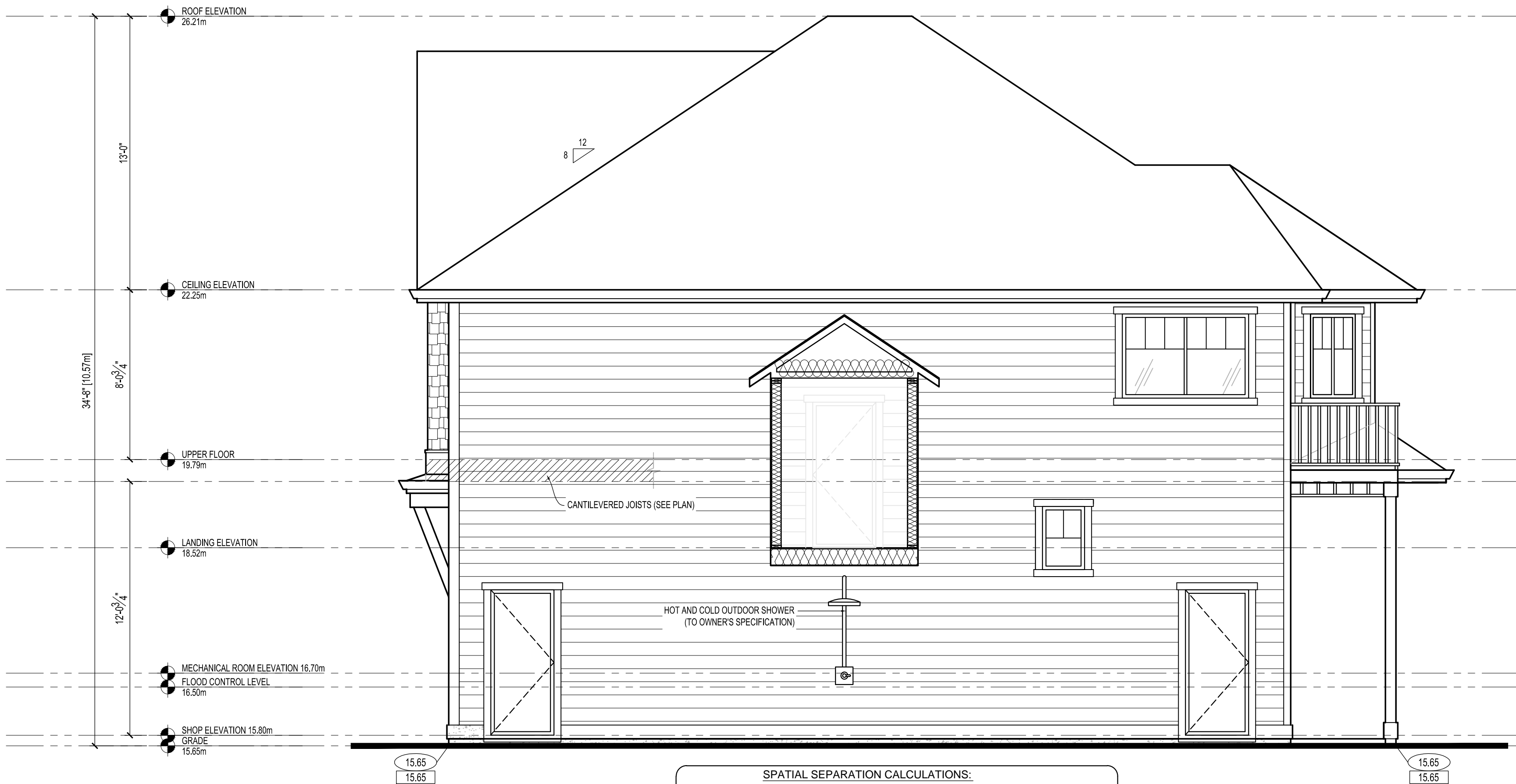
- W1** HARDIE BOARD RAINSCREEN (SEE DETAILS) 15LB. BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 STUDS @ 16" O.C. R-20 BATT INSULATION 6 MIL POLY V.B. 1/2" PAINTED GYPROC
- W2** 2x4 STUD PARTITION WALL 1/2" PAINTED GYPROC BIS
- W3** 8" CONC. WALL 15M REINF. @24" O.C E.W. ON 16x16x8 CONC STRIP FOOTING ASPHALT WATERPROOFING BIS
- W4** 2x4/6 STUD PARTITION WALL R-20 BATT INSULATION 1/2" PAINTED GYPROC BIS (5/8" @ GARAGE)

FLOOR ASSEMBLIES

- F1** 5/8" T&G PLY SHEATHING (GLUED AND SCREWED) 11 7/8" TJI FLOOR JOISTS R-40 BATT INSULATION 1/2" GYPROC
- F2** APPROVED VINYL DECKING 5/8" T&G PLY DECKING (GLUED AND SCREWED) 2X10 P.T. FLOOR JOISTS
- F3** 4" CONCRETE GARAGE SLAB REINFORCED W-W.W.M. 1% MIN. SLOPE TO ENTRY 6 MIL POLY V.B. MIN. 5" GRAVEL BASE
- F4** 5/8" T&G PLY SHEATHING (GLUED AND SCREWED) 2X10 FLOOR JOISTS R-32 BATT INSULATION SOFFIT

ROOF ASSEMBLIES

- R1** ASPHALT SHINGLE ROOFING 15LB. BUILDING PAPER 1/2 PLYWOOD SHEATHING ENG. TRUSSES @ 24" O.C 14.35" BLOWN-IN INSULATION 6 MIL POLY V.B. 5/8" GYPROC



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

SPATIAL SEPARATION CALCULATIONS:
WALL AREA = 866.17 SQ. FT.
MAX. ALLOWABLE UNPROTECTED OPENINGS @ 7.73% = 66.98 SQ. FT.
PROPOSED UNPROTECTED OPENINGS = 26.00 SQ. FT. (3.00%)

NOTE:
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43836 LOCH RD.
LAKE ERROCK, BC

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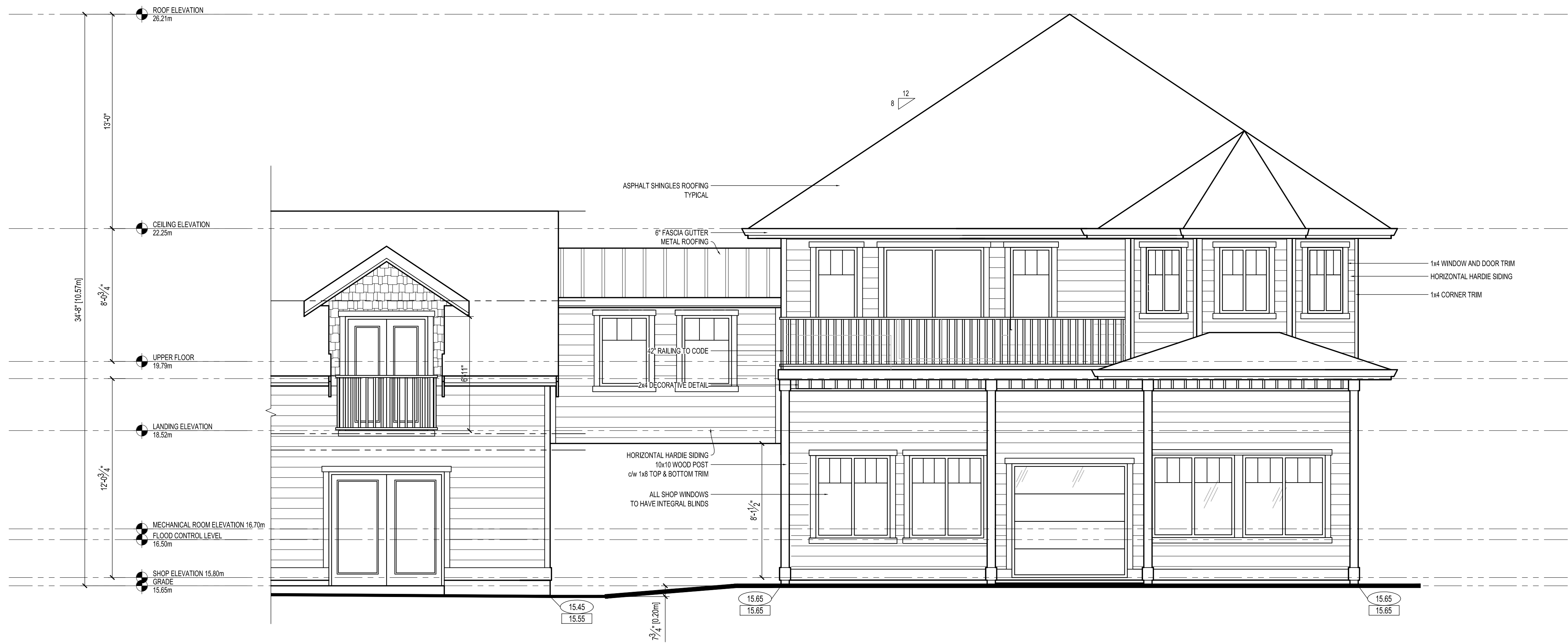
SHEET TITLE
SECTION A
SECTION B
LEFT SIDE ELEVATION

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DRAWN: MJ



FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
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DRAWN:
MJ

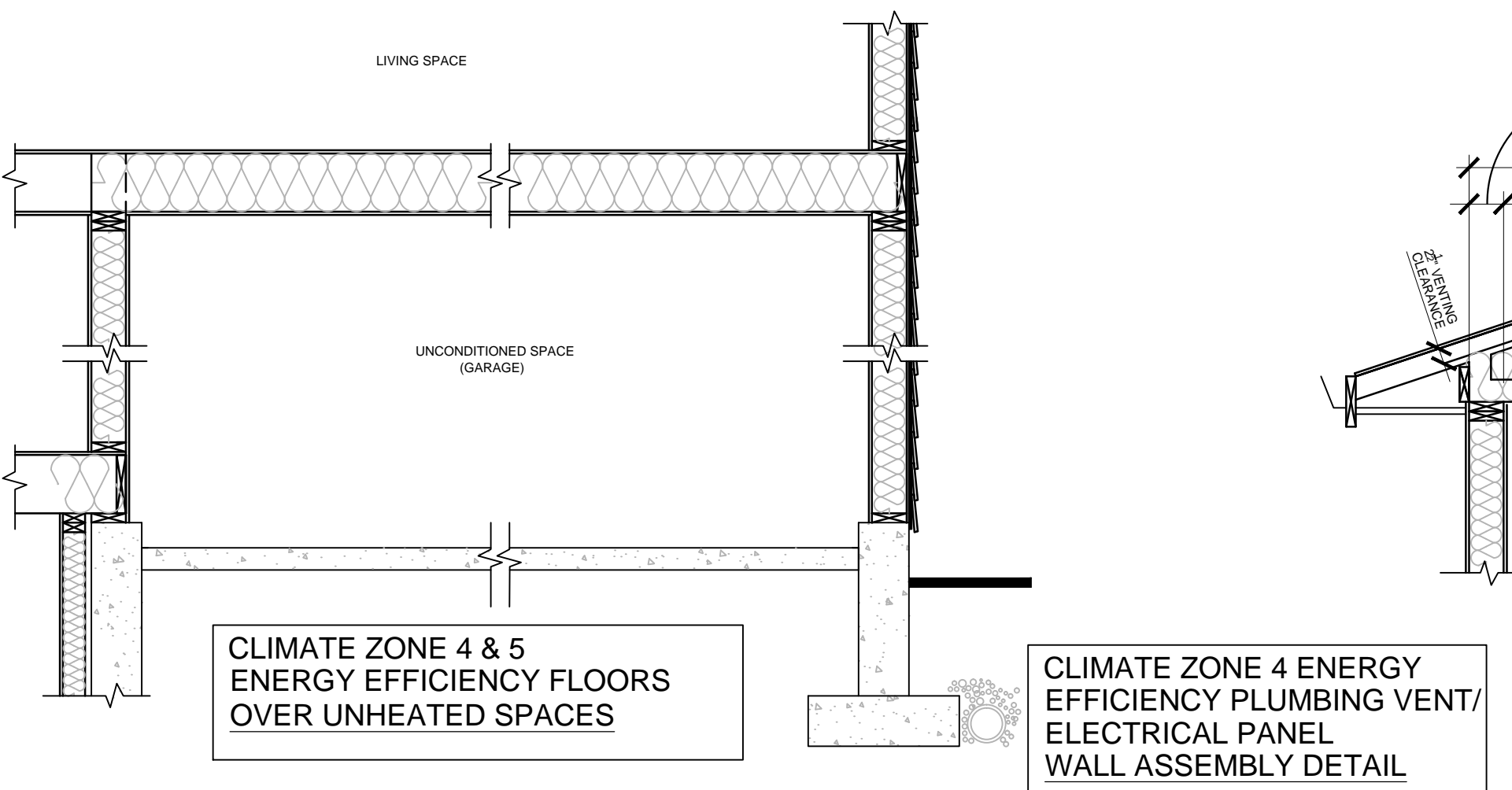
FLOORS OVER UNHEATED SPACES (HARDWOOD FLOORING)		
DESCRIPTION	NOMINAL	EFFECTIVE
R-28 BATT INSULATION IN 2X10 WOOD FRAMING @ 12" O/C	RSI 4.93 (R-28)	RSI 4.06 (R-23.0)
R-28 BATT INSULATION IN 2X10 WOOD FRAMING @ 16" O/C	RSI 4.93 (R-28)	RSI 4.14 (R-23.5)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.12	
2. FLOORING MATERIAL - HARDWOOD	0.12	
3. 5/8" PLYWOOD SUBFLOOR	0.14	
4. 3/4" AIR BARRIER	0.18	
5. POLYETHYLENE	0.10	
6. 5/8" GYPSUM CEILING BOARD	0.03	
7. EXTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE (12" O/C FRAMING)		RSI 4.75 (R-27.0)
TOTAL EFFECTIVE INSULATION VALUE (16" O/C FRAMING)		RSI 4.83 (R-27.4)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		RSI 4.67 (R-26.5)

FLOORS OVER UNHEATED SPACES (CARPET FLOORING)		
DESCRIPTION	NOMINAL	EFFECTIVE
R-28 BATT INSULATION IN 2X10 WOOD FRAMING @ 12" O/C	RSI 4.93 (R-28)	RSI 4.06 (R-23.0)
R-28 BATT INSULATION IN 2X10 WOOD FRAMING @ 16" O/C	RSI 4.93 (R-28)	RSI 4.14 (R-23.5)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.12	
2. FLOORING MATERIAL - CARPET & RUBBER PAD	0.22	
3. 5/8" PLYWOOD SUBFLOOR	0.14	
4. 3/4" AIR BARRIER	0.18	
5. POLYETHYLENE	0.10	
6. 5/8" GYPSUM CEILING BOARD	0.03	
7. EXTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE (12" O/C FRAMING)		RSI 4.85 (R-27.5)
TOTAL EFFECTIVE INSULATION VALUE (16" O/C FRAMING)		RSI 4.93 (R-28.0)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		RSI 4.67 (R-26.5)

FLOORS OVER UNHEATED SPACES (CERAMIC TILE FLOORING)		
DESCRIPTION	NOMINAL	EFFECTIVE
R-28 BATT INSULATION IN 2X10 WOOD FRAMING @ 12" O/C	RSI 4.93 (R-28)	RSI 4.06 (R-23.0)
R-28 BATT INSULATION IN 2X10 WOOD FRAMING @ 16" O/C	RSI 4.93 (R-28)	RSI 4.14 (R-23.5)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.12	
2. FLOORING MATERIAL - CERAMIC TILE	0.005	
3. 1/4" PLYWOOD SUBFLOOR	0.05	
4. 5/8" PLYWOOD SUBFLOOR	0.14	
5. 3/4" AIR BARRIER	0.18	
6. POLYETHYLENE	0.10	
7. 5/8" GYPSUM CEILING BOARD	0.03	
8. EXTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE (12" O/C FRAMING)		RSI 4.685 (R-26.55)
TOTAL EFFECTIVE INSULATION VALUE (16" O/C FRAMING)		RSI 4.765 (R-27.05)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		RSI 4.67 (R-26.5)

ABOVE GRADE WALL ASSEMBLY (6.35MM FIBRE-CEMENT BOARD SIDING)		
DESCRIPTION	NOMINAL	EFFECTIVE
3" XPS INSULATION IN 2X6 WOOD FRAMING @ 16" O/C	RSI 2.64 (R-15)	RSI 2.52 (R-14.3)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. 6.35MM FIBRE-CEMENT BOARD SIDING	0.003	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	0.11	
5. 1/2" POLYETHYLENE	0.16	
6. 2 1/2" AIR CAVITY	0.11	
7. POLYETHYLENE	0.10	
8. 1/2" GYPSUM WALL BOARD	0.08	
9. INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.203 (R-18.18)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)

SPECIFIC REQUIREMENTS	
<ul style="list-style-type: none"> EFFECTIVE INSULATION OF CEILINGS, WALLS, AND FLOORS MEET THE REQUIREMENTS OF TABLE 9.36.2.6.A AND TABLE 9.36.2.6.B FOR THE CORRECT CLIMATE ZONE THE THERMAL CHARACTERISTICS OF WINDOWS, DOOR AND SKYLIGHTS MEET THE REQUIREMENTS OF TABLE 9.36.2.7.A, B AND C FOR CORRECT CLIMATE ZONE EFFECTIVE INSULATION OF FOUNDATIONS MEET THE REQUIREMENTS OF TABLE 9.36.2.8.A OR B FOR THE CORRECT CLIMATE ZONE DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT INDOOR POOLS ARE COVERED OR HAVE AN HRV/DEHUMIDIFIER HVAC & SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.10 AND 9.36.4.2 SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS THE AIR BARRIER DETAILS, AND LOCATIONS HAVE BEEN IDENTIFIED 	
TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6	
<ul style="list-style-type: none"> TEMPERATURE CONTROLS ARE GENERALLY REQUIRED FOR HEATING AND COOLING EQUIPMENT. THE ACCURACY OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5 DEGREES CELSIUS 	
ENERGY EFFECIENCY REQUIREMENTS	
<ul style="list-style-type: none"> THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFECIENCY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR CLIMATE 4-LOWER MAINLAND AND SOUTHERN VANCOUVER ISLAND WITH NO H.R.V. (BCBC 2018 LATEST EDITION) 	



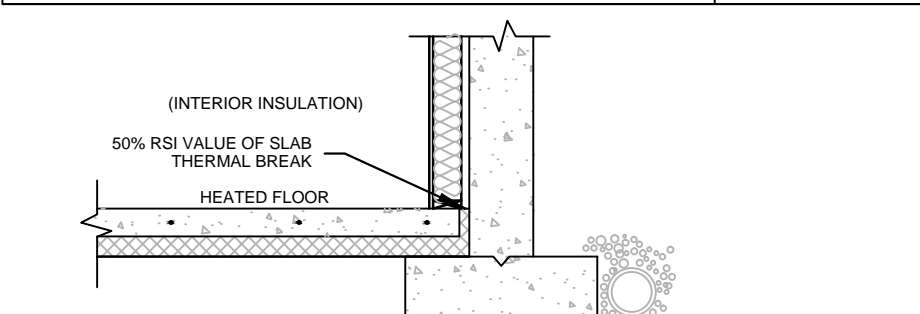
CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE CEILINGS BELOW ATTICS ASSEMBLY DETAIL

CLIMATE ZONE 4 ENERGY EFFICIENCY PLUMBING VENT/ ELECTRICAL PANEL WALL ASSEMBLY DETAIL

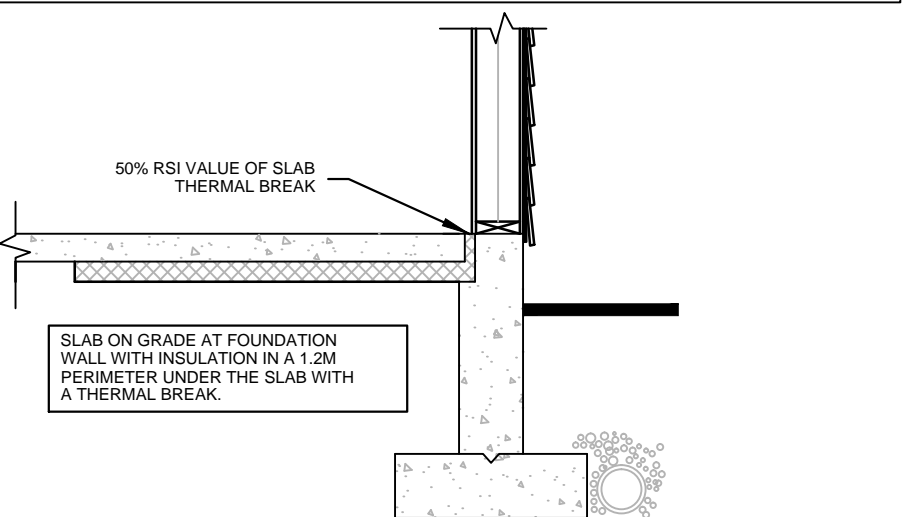
WALLS ADJOINING ENCLOSED UN-CONDITIONED SPACE

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2X6 WOOD FRAMING @ 16" O/C	RSI 3.51 (R-20)	RSI 2.36 (R-13.4)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. VINYL CLADDING HOLLOW BACKED	0.11	
3. SHEATHING MEMBRANE	0.11	
4. 1/2" PLYWOOD SHEATHING	0.16	
5. 2 1/2" AIR CAVITY	0.16	
6. POLYETHYLENE	0.08	
7. 1/2" GYPSUM WALL BOARD	0.12	
8. INTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.67 (R-15.17)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.62 (R-14.9)

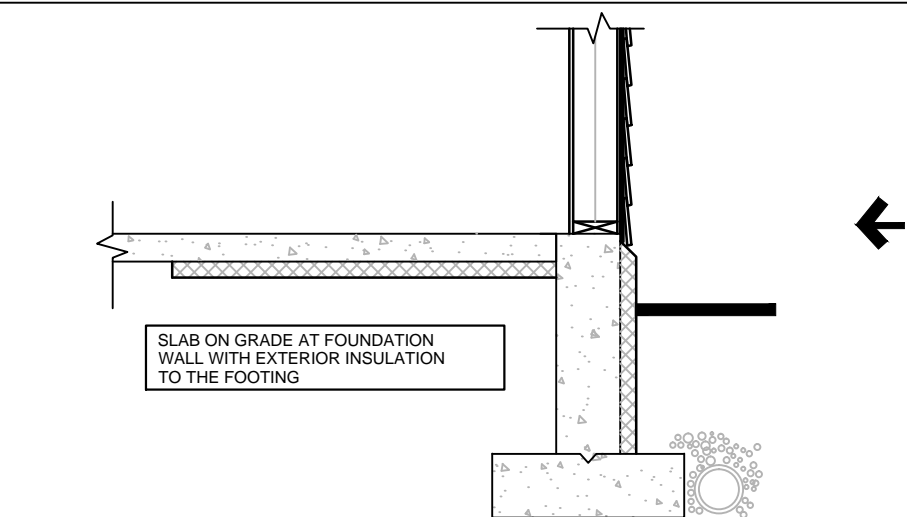
BELOW GRADE HEATED FLOOR		
DESCRIPTION	NOMINAL	EFFECTIVE
3.5" POURED IN-PLACE CONCRETE SLAB	RSI 2.36 (R-13.4)	RSI 2.42 (R-13.74)
2.5" EXTRUDED POLYSTYRENE INSULATION		
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.16	
2. 3.5" CONCRETE SLAB		
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.58 (R-14.64)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE HEATED FLOORS		RSI 2.32 (R-13.2)



INSULATION PLACEMENT FOR HEATED SLABS (INTERIOR) BELOW FROST LINE

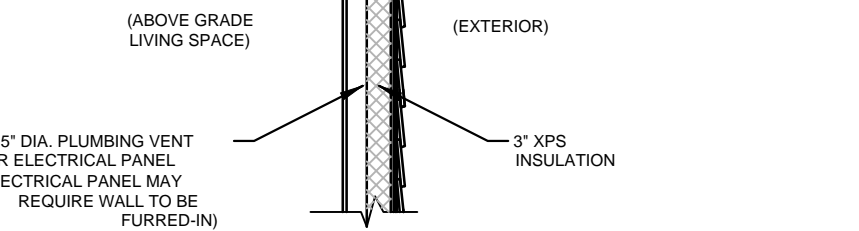


INSULATION PLACEMENT FOR HEATED SLABS (EXTERIOR) BELOW FROST LINE

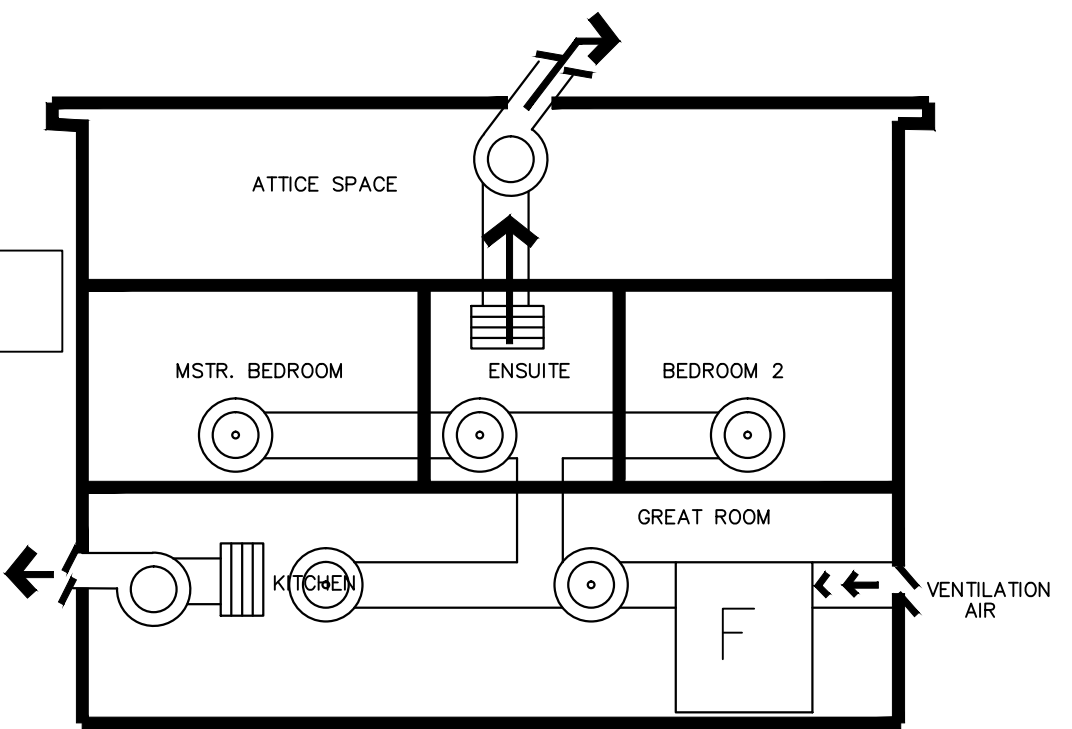


INSULATION OF UNHEATED AND HEATED SLABS ABOVE THE FROST LINE

CEILING BELOW ATTICS		
DESCRIPTION	NOMINAL	EFFECTIVE
356MM (14") GLASS FIBRE LOOSE FILL INSULATION FOR ATTICS 2x4 BOTTOM CHORD @ 24" O/C	RSI 7.04 (R-40)	RSI 6.67 (R-37.9)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. POLYETHYLENE	0.10	
3. 5/8" GYPSUM CEILING BOARD	0.11	
4. INTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE		RSI 6.91 (R-39.2)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR CEILINGS BELOW ATTICS		RSI 6.91 (R-39.2)

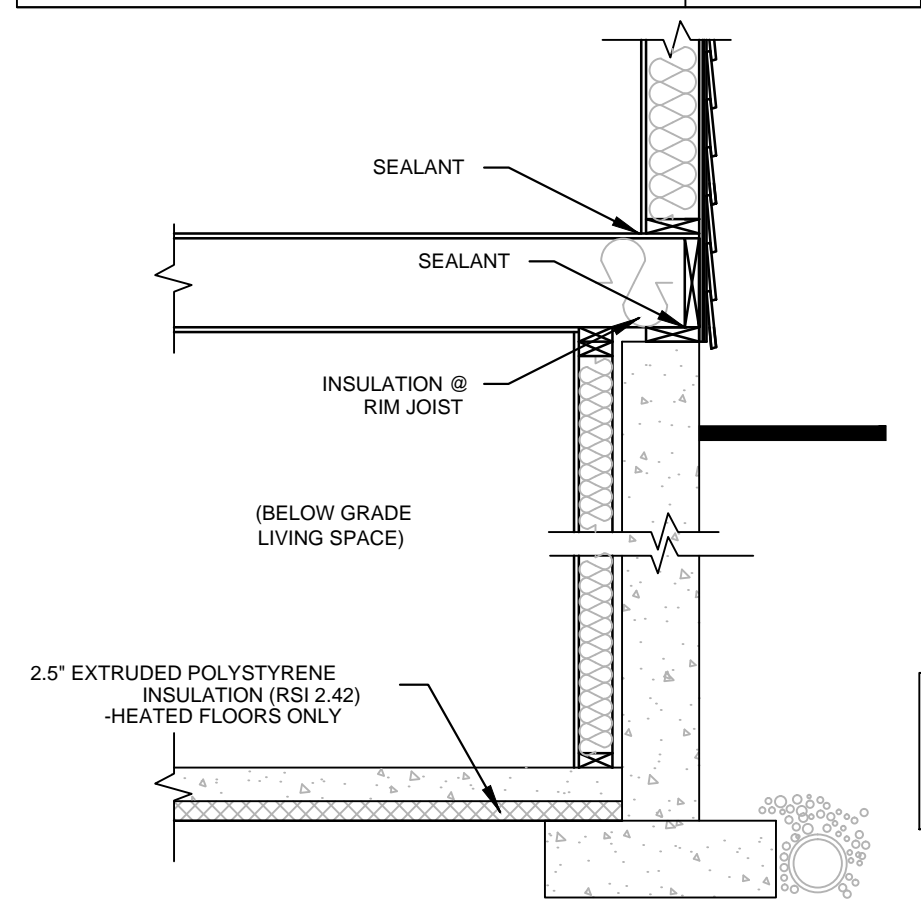


ABOVE GRADE WALL ASSEMBLY (6.35MM FIBRE-CEMENT BOARD SIDING)		
DESCRIPTION	NOMINAL	EFFECTIVE
3" XPS INSULATION IN 2X6 WOOD FRAMING @ 16" O/C	RSI 2.64 (R-15)	RSI 2.52 (R-14.3)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. 6.35MM FIBRE-CEMENT BOARD SIDING	0.003	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	0.11	
5. 1/2" POLYETHYLENE	0.16	
6. 2 1/2" AIR CAVITY	0.11	
7. POLYETHYLENE	0.08	
8. 1/2" GYPSUM WALL BOARD	0.12	
9. INTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.203 (R-18.18)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)



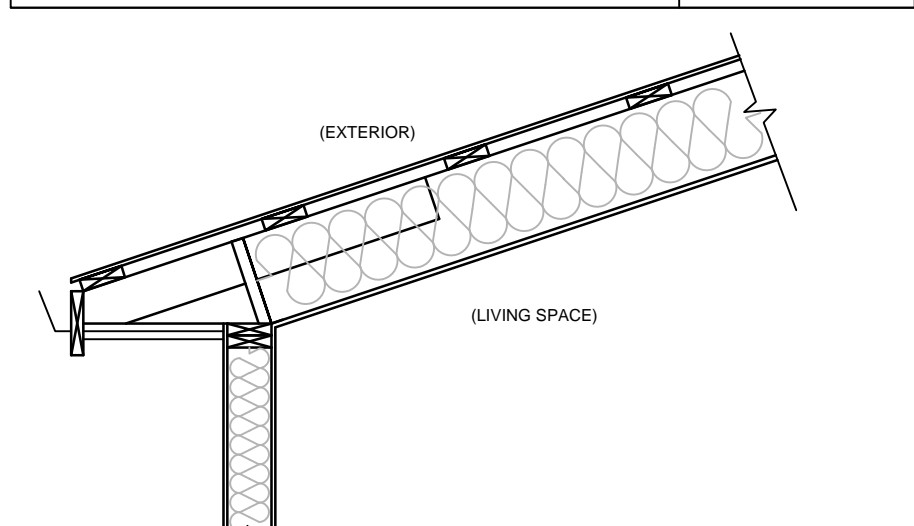
9.32.3.4 (2) SUPPLY WITH FORCED WARM AIR HEATING

BELOW GRADE WALL ASSEMBLY		
DESCRIPTION	NOMINAL	EFFECTIVE
8" POURED-IN-PLACE CONCRETE WALL	RSI 2.46 (R-14)	RSI 1.91 (R-10.85)
R-14 BATT INSULATION IN 2x4 WOOD FRAMING @ 24" O/C		
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. DAMPROOFING	0.21	
2. 1" AIR SPACE	0.16	
3. 5/8" GYPSUM WALL BOARD	0.08	
4. 1/2" GYPSUM WALL BOARD	0.12	
5. INTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.48 (R-14.08)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 1.99 (R-11.3)



CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE BELOW GRADE WALL ASSEMBLY DETAIL

CEILINGS BELOW CATHEDRAL & FLAT ROOFS		
DESCRIPTION	NOMINAL	EFFECTIVE
R-31 BATT INSULATION IN 2X12 WOOD FRAMING @ 24" O/C	RSI 4.66 (R-31)	RSI 4.62 (R-26.3)
R-31 BATT INSULATION IN 2X10 WOOD FRAMING @ 16" O/C	RSI 4.66 (R-31)	RSI 4.46 (R-25.4)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. POLYETHYLENE	0.16	
3. 5/8" GYPSUM CEILING BOARD	0.10	
4. INTERIOR AIR FILM	0.11	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.66 (R-31)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		RSI 4.67 (R-26.5)



CLIMATE ZONE 4 & 5 ENERGY EFFICIENCY CEILINGS BELOW CATHEDRAL & FLAT ROOFS DETAIL

POCKET BEAM INSULATION R. VALUE		
1" XPS = .035 X 25.4MM		RSI 0.89
5" FRAMING = .0085 X 127MM		RSI 1.08
TOTAL R VALUE REQ. = 60% OF 2.78 = 1.67		RSI 1.97

HVAC PERFORMANCE REQUIREMENTS		
EQUIPMENT TYPE	SIZE	PERFORMANCE REQUIREMENT
SPACE HEATING EQUIPMENT		
GAS FIRED FURNACE	LESS THAN 220,000 BTU/Hr (66 kW)	ANNUAL FUEL EFFICIENCY (AFUE) MUST BE GREATER OR EQUAL TO 92%
GAS FIRED BOILER	LESS THAN OR EQUAL TO 300,000 BTU/Hr (66 kW)	ANNUAL FUEL EFFICIENCY (AFUE) MUST BE GREATER OR EQUAL TO 90%
AIR COOLED UNITARY AIR CONDITIONER AND HEAT PUMP SPLIT SYSTEM	LESS THAN OR EQUAL TO 65,000 BTU/Hr (19 kW)	SEASONAL ENERGY EFFICIENCY RATING (SEER) OF 14.5 OR ENERGY EFFICIENCY RATING (EER) OF 11.5
GAS FIRED TANKLESS	LESS THAN 220,000 BTU/Hr (66 kW)	ENERGY FACTOR (EF) MUST BE GREATER THAN OR EQUAL TO 0.8
SERVICE WATER HEATING EQUIPMENT		
ELECTRIC STORAGE	13-71 GAL (50 TO 270L)	STANBY LOSS LESS THAN OR EQUAL TO: 25+ 0.20V (TOP INLET), 45+ 0.20V (BOTTOM INLET) WHERE V=THE TANK VOLUME (IN LITRES)
GAS FIRED STORAGE	LESS THAN 75,000 BTU/Hr (22 kW)	ENERGY FACTOR (EF) MUST BE GREATER THAN OR EQUAL TO 0.67-0.0065V WHERE V=THE TANK VOLUME (IN LITRES)
GAS FIRED TANKLESS	LESS THAN OR EQUAL TO 250,000 BTU/Hr (73.2 kW)	ENERGY FACTOR MUST BE GREATER THAN OR EQUAL TO 0.8

TABLE 9.32.3.5: PRINCIPAL VENTILATION SYSTEM EXHAUST FAN MINIMUM AIR-FLOW RATE FORMING PART OF CLAUSE 9.32.3.5.(1)

FLOOR AREA, m2	MINIMUM AIR-FLOW RATE, L/s				
	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
140	14	21	28	35	42
140-280	21	28	35	42	49
281-420	28	35	42	49	56
421-560	35	42	49	56	64
561-700	42	49	56	64	71
> 700	49	56	64	71	78

43836 LOCH RD.
LAKE ERROCK, BC

PROJECT TITLE:

CLIENT:

REMPPEL RESIDENCE

PAGE No:

5

OF 6

DESCRIPTION	
REV.	DATE

4TH DIMENSION DESIGN + DRAFTING

203-33082 1ST AVE. MISSION, BC, V2V 1G2
P.604.557.9465 C.604.832.8811
www.4ddrafting.com info@4ddrafting.com

NOTES AND DETAILS	
SHEET TITLE	DATE
	02.13.2020
	PROJECT: RN-19-119
	DESIGNED/CHECKED: JM
	DRAWN: MJ









47



48



49



BC Cancer Agency

CARE & RESEARCH

Fraser Valley Cancer Centre

Urgent after hours instructions

Call 604-581-2211 (Surrey Memorial Hospital)

State:

I am a FVC patient

I need to speak to a FVC oncologist

Please turn over →

My BCCA chart number is [REDACTED]

My Oncologist is Dr. [REDACTED]

protocol: [REDACTED]

Please note:

If you report to SMH, please take a number and report directly to the triage nurse. Tell them you are a FVC patient.

WT: [REDACTED]



FVRD Biosolids Management Options Assessment



<https://www.britishcolumbia.ca/invest/communities/british-columbia/lower-mainland-southwest/fraser-valley/>

EASC Meeting | July 14, 2020
Laura Jefferies, M.Sc., P.Ag.

Outline

- Facilities
- Rationale
- Assessment Criteria
- Liquid Sludge & Liquid Biosolids Management
- Dewatered Biosolids Management
- Summary

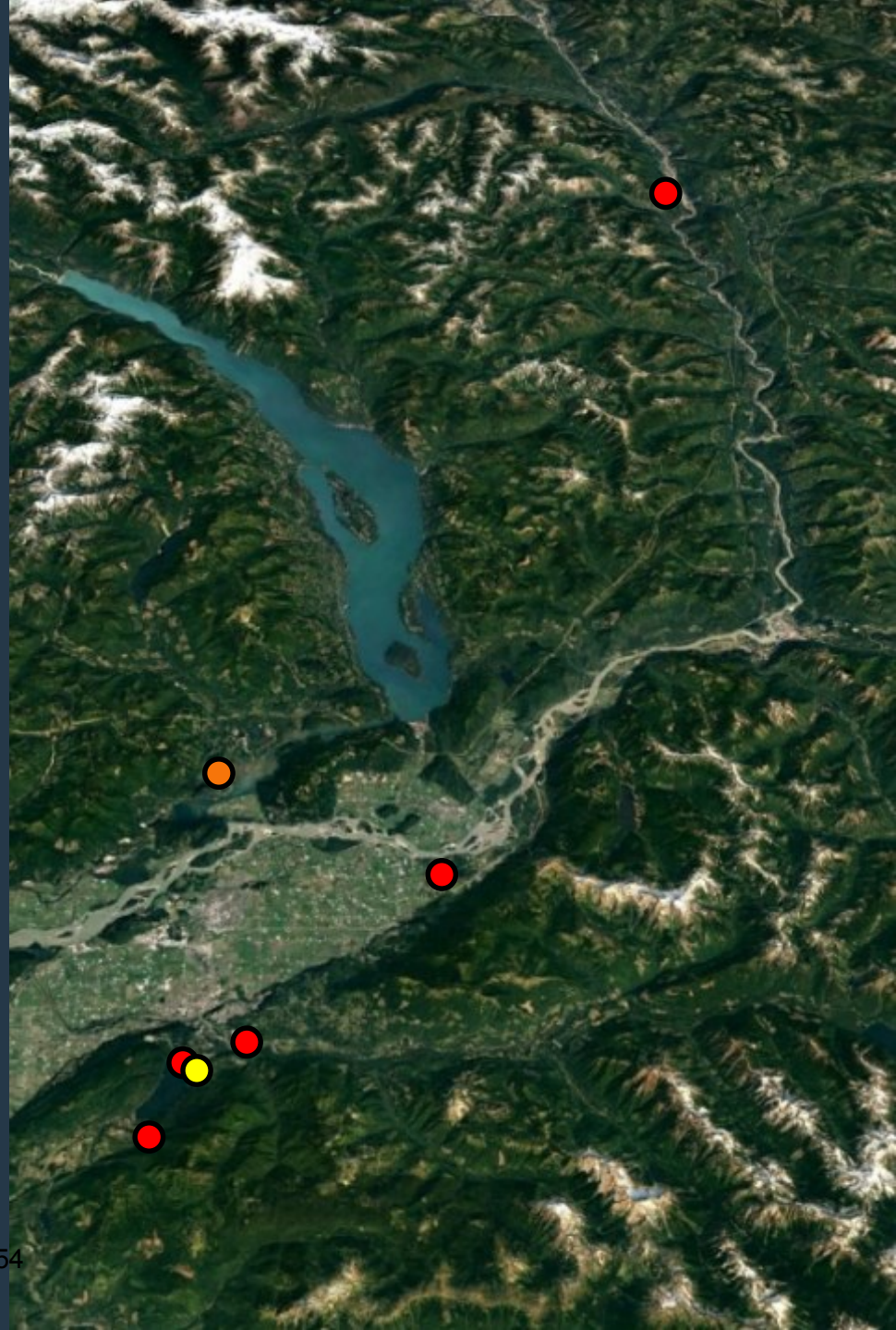


Facilities

- Liquid Sludge
 1. North Bend
 2. Minter Gardens
 3. Baker Trails
 4. Aquadel
 5. Current Cultus Lake North
-

- Liquid Class B Biosolids
 6. Morris Valley
-

- Dewatered Class B Biosolids
 7. Future Cultus Lake North





Rationale

Environmental

- Environmental Benefits
- Transportation Emissions

Social

- Stakeholder Acceptance

Technical

- Regulatory Compliance
- Implementation
- Reliability & Seasonality

Economical

- Capital Costs
- Management Costs

Options Assessment Criteria

Liquid Sludge & Liquid Class B Biosolids Management

- Assumes material from all current FVRD managed WWTPs
- Annual volume to manage:
~ 307 m³ or ~ 2.5 dry tonnes
- Morris Valley considered for local land application

RECOMMENDATION:
Status Quo: Transport and
Treatment at an Alternate WWTP



Dewatered Class B Biosolids Management

- Assumes >18% solids
- Assumes future Cultus Lake WWTP only
- Annual volume to manage:
~ 200 m³ or ~ 36 dry tonnes
- Three primary options
assessed



Amalgamation with CHWK Program



Remote Agricultural Land Application

<https://vimeo.com/350357906>



Composting by a Third Party



Dewatered Biosolids Management Recommendation

Amalgamation with CHWK Program



Summary

Liquid Sludge and Liquid Biosolids

- Status Quo: Transport and Treatment at an Alternate WWTP

Dewatered Biosolids

- Amalgamation with CHWK program



Questions

To: Electoral Area Services Committee

Date: 2020-07-14

From: Sterling Chan, Manager of Engineering and Infrastructure

File No: 5340-01

Subject: FVRD Electoral Area Biosolids Management Plan

RECOMMENDATION

THAT the Fraser Valley Regional District Board endorse the recommendations of the FVRD Biosolids Management Options Assessment.

STRATEGIC AREA(S) OF FOCUS

Support Environmental Stewardship
Support Healthy & Sustainable Community
Provide Responsive & Effective Public Services

PRIORITIES

Priority #1 Waste Management

BACKGROUND

The FVRD currently operates six sewer systems within its electoral areas: North Bend Sewer in Electoral Area A, Morris Valley Sewer in Electoral Area C, Popkum Sewer in Electoral Area D, Baker Trails Sewer in Electoral Area E, and North and South Cultus Sewer in Electoral Area H. Currently, these six systems generate liquid sludge that is transported offsite to an alternate wastewater treatment plant (WWTP) for further treatment and management through beneficial use under the respective municipality's biosolids program. The future North Cultus WWTP is anticipated to generate up to 120 wet tonnes of dewatered biosolids per year. The need to evaluate the biosolids management within the electoral areas was a necessary step in planning for this future facility.

The FVRD engaged Sylvis Environmental to characterize the liquid sludges generated by the FVRD's systems and conduct an assessment of potential management options for the liquid sludges as well as the dewatered biosolids that would be created at the future North Cultus WWTP.

DISCUSSION

The liquid sludge generated at the FVRD's WWTPs is removed one to three times per year. Currently, it is pumped and hauled offsite to Metro Vancouver's Annacis Island WWTP. As part of their initial work, Sylvis sampled and characterized the liquid sludge produced by these WWTPs. They then conducted an

assessment to identify all available options and evaluated each option individually against environmental, social, technical, and economic criteria.

It was found that many of the liquid sludges sampled could not be beneficially managed as biosolids without first undergoing further treatment. Continuing to transport offsite for treatment at an alternative WWTP is the only viable option for these liquid sludges. For those that did not require further treatment, the local land application to agricultural or fallow fields as a fertilizer was compared against the status quo. Ultimately, it was determined that the current volumes did not justify the level of effort required to implement a local land application program and that the recommendation is to maintain the status quo of hauling liquid sludge offsite to the Annacis Island WWTP or alternatively the JAMES WWTP.

For the future North Cultus WWTP, Sylvis worked with the plant's design engineers to determine the volume and classification of dewatered biosolids it will produce once online. In total, five options for the management of these dewatered biosolids were assessed:

- Amalgamation with the City of Chilliwack biosolids management program
- Remote agricultural land application at the OK Ranch
- Offsite composting by a third party
- Local Agricultural Land Application of Dewatered Biosolids
- Containerized Compositing onsite of the new Cultus Lake North WWTP

Similar to the liquid sludge, each of these options for dewatered biosolids was evaluated against environmental, social, technical, and economic criteria.

Ultimately, amalgamation with the City of Chilliwack's biosolids management program was the recommended option. The benefit to this option is that it would have the lowest capital and operation cost, would be least likely to be objected by stakeholders, would have fewest regulatory challenges, could be easily implemented, would have high reliability and would not have to be adjusted seasonally. FVRD staff have engaged with City of Chilliwack staff and have confirmed this option's viability.

Three additional options for dewatered biosolids management were identified, however, were not advanced to a detailed assessment because of the small production volume or prohibitive costs:

- Quarry Reclamation
- Biosolids Growing Medium
- Landfill Disposal

The plan for managing biosolids is meant to be a living document. In the future, as neighbourhoods are built out and new service areas come on line, the volumes and characteristics of biosolids produced across the region's electoral areas will inevitably change. For those reasons, it will be necessary to periodically review the way biosolids are being managed.

COST

The biosolids management options recommended in this report will be borne from each system's corresponding service area budget. As there are no recommended changes to the management of liquid sludge from systems currently in operation, there are no anticipated changes in operation costs for these systems. The cost to manage dewatered biosolids produced by the future North Cultus WWTP will be incorporated into that system's service area budget once the new plant is brought online.

COMMENTS BY:

Tareq Islam, Director of Engineering & Community Services

Reviewed and supported.

Kelly Lownsborough, Chief Financial Officer/ Director of Financial Services

Reviewed and supported.

Jennifer Kinneman, Chief Administrative Officer

Reviewed and supported.

FRASER VALLEY REGIONAL DISTRICT
ELECTORAL AREA SERVICES COMMITTEE
OPEN MEETING MINUTES

Tuesday, June 9, 2020

1:30 pm

FVRD Boardroom, 45950 Cheam Avenue, Chilliwack, BC

- Members Present: Director Bill Dickey, Electoral Area D, Chair *(via Zoom conference call)*
Director Dennis Adamson, Electoral Area B *(via Zoom conference call)*
Director Wendy Bales, Electoral Area C *(via Zoom conference call)*
Director Orion Engar, Electoral Area E *(via Zoom conference call)*
Director Hugh Davidson, Electoral Area F *(via Zoom conference call)*
Director Al Stobbart, Electoral Area G *(via Zoom conference call)*
Director Taryn Dixon, Electoral Area H *(via Zoom conference call)*
- Regrets: Director Terry Raymond, Electoral Area A
- Staff Present: Jennifer Kinneman, Chief Administrative Officer *(via Zoom conference call)*
Kristy Hodson, Acting Director of Financial Services/Chief Financial Officer *(via Zoom conference call)*
Jaime Reilly, Manager of Corporate Administration/Corporate Officer *(via Zoom conference call)*
Tareq Islam, Director of Engineering & Community Services *(via Zoom conference call)*
Graham Daneluz, Director of Planning & Development *(via Zoom conference call)*
Reg Dyck, Manager of Electoral Area Emergency Services *(via Zoom conference call)*
Sterling Chan, Manager of Engineering and Infrastructure *(via Zoom conference call)*
Dave Roblin, Manager of Operations *(via Zoom conference call)*
David Bennett, Planner II *(via Zoom conference call)*
Kristen Kohuch, Executive Assistant to CAO and Board *(recording secretary)*
Tyler Davis, Network Analyst II

1. CALL TO ORDER

Chair Dickey called the meeting to order at 1:32 pm.

2. CHAIR'S REPORT ON REGIONAL AND CORPORATE SERVICES COMMITTEE MEETING

Chair Dickey provided a brief summary of the Regional and Corporate Services Committee Meeting of June 9, 2020.

3. APPROVAL OF AGENDA, ADDENDA AND LATE ITEMS

Moved By DIXON

Seconded By ADAMSON

THAT the Agenda, Addenda and Late Items for the Electoral Area Services Committee Open Meeting of June 9, 2020 be approved;

AND THAT all delegations, reports, correspondence and other information set to the Agenda be received for information.

CARRIED

4. MINUTES/MATTERS ARISING

4.1 Draft Electoral Area Services Committee Meeting Minutes - May 12, 2020

Moved By DAVIDSON

Seconded By STOBART

THAT the Minutes of the Electoral Area Services Committee Open Meeting of May 12, 2020 be adopted.

CARRIED

5. FINANCE

5.1 2020 Grant-In-Aid Request – Cultus Lake Goose Management Committee, Electoral Area “H”

The Committee noted that if the grant is approved funds will be used to educate the public about Cultus Lake goose management.

Moved By DIXON
Seconded By ENGAR

THAT the Fraser Valley Regional District Board authorize a grant-in-aid up to \$1,500 to the Cultus Lake Goose Management Committee, funded from the Electoral Area "H" grant-in-aid budget, to help offset the costs of signs to help manage the goose population.

CARRIED

6. PLANNING, BUILDING INSPECTION AND BYLAW ENFORCEMENT

6.1 Authorization for the discharge of a geo-hazard covenant from the title of 47840 Chilliwack Lake Road, Electoral Area E

Moved By ENGAR
Seconded By BALES

THAT the Fraser Valley Regional District Board authorize its signatories to execute all documents relating to the discharge of covenant BM197518 and the registration of a replacement geo-hazard covenant to the title of 47840 Chilliwack Lake Road, Electoral Area E, subject to the completion of development permit 2019-08.

CARRIED

6.2 Development Variance Permit 2020-05 to waive the statutory minimum parcel frontage requirement for proposed Lot '1' to facilitate a two lot subdivision at 4498 Bench Road, Electoral Area E

The Committee provided comments and noted the importance of the applicant working with neighbouring properties.

Moved By ENGAR
Seconded By ADAMSON

THAT the Fraser Valley Regional District Board issue Development Variance Permit 2020-05 to waive the statutory minimum parcel frontage requirement for proposed Lot '1' at 4498 Bench Road, Area E, subject to the consideration of any comments or concerns raised by the public;

AND THAT that the Fraser Valley Regional District Board exempt proposed Lot '1' at 4498 Bench Road from the minimum parcel frontage requirement pursuant to Section 512(2) of the Local Government Act;

AND FURTHER THAT the Fraser Valley Regional District Board authorize its signatories to execute all legal instruments associated with Subdivision File No. 3320-20-2020-00310.

CARRIED

6.3 Development Variance Permit 2020-06 to reduce the exterior lot line setback at 43802 Loch Road, Electoral Area C

The Committee noted some public concerns regarding the existing septic system. Staff advised that the septic system on the subject property was recently put in and meets current standards; the system is also designed to meet the loads of the proposed development.

Moved By BALES

Seconded By DAVIDSON

THAT the Fraser Valley Regional District Board issue Development Variance Permit 2020-06 for 43802 Loch Road, Electoral Area C, to reduce the exterior lot line setback from 6.0 metres to 1.5 metres clear to sky, to facilitate the construction of a single-family residence, subject to consideration of comments or concerns raised by the public.

CARRIED

6.4 North Fraser Harrison Mills Fire Protection Service Area Amendment Bylaw No. 1545, 2019

Moved By STOBART

Seconded By ENGAR

THAT the Fraser Valley Regional District Board consider adopting the bylaw cited at *North Fraser Harrison Mills Fire Protection Service Area Amendment Bylaw No. 1545, 2019*.

CARRIED

6.5 Zoning Bylaw 1597, 2020 Proposed rezoning of 10789 North Deroche Road, Electoral Area G to facilitate a single burial plot within an existing religious building

Comments were offered that the proposed rezoning will not have any impact to surrounding properties. Discussion ensued regarding the waiving the holding of a public hearing, and comments were offered regarding the potential for a public information meeting.

Moved By STOBART
Seconded By DIXON

THAT the Fraser Valley Regional District Board consider giving first reading to the bylaw cited *Fraser Valley Regional District Electoral Area G Zoning Amendment Bylaw No. 1597, 2020* for the rezoning of 10789 North Deroche Road, Electoral Area G to permit a single burial plot within an existing religious use building;

AND THAT the Fraser Valley Regional District Board consider waiving the holding of a public hearing for *Fraser Valley Regional District Electoral Area G Zoning Amendment Bylaw No. 1597, 2020* pursuant to section 464(2) of the Local Government Act;

AND FINALLY THAT the Fraser Valley Regional District Board authorize its signatories to execute all documents relating to *Fraser Valley Regional District Electoral Area G Zoning Amendment Bylaw No. 1597, 2020*.

CARRIED

6.6 ALR and Small Secondary Residence Consideration – Engagement Process

Discussion ensued regarding the implication of residential flexibility in the Agricultural Land Reserve.

Moved By DIXON
Seconded By ENGAR

THAT the Fraser Valley Regional District Board provide comments to the Ministry of Agriculture in response to the *Policy Intentions Paper: Residential Flexibility* in the ALR and the Ministry's on-going engagement and consultation with local governments.

AND THAT the comments provided in the discussion of this corporate report be considered the comments of the Fraser Valley Regional District Board.

CARRIED

7. ELECTORAL AREA EMERGENCY SERVICES

7.1 Emergency Operations Centre Update

Reg Dyck, Manager of Electoral Area Emergency Services provided a verbal update on the Emergency Operations Centre (EOC) which included information about Evacuation Alerts issued for 20 properties in Electoral Area C and 18 properties in Electoral Area G which were issued on June 1 and rescinded on June 8.

A concern regarding posting of addresses related to evacuation alerts, and it was noted that this is a legislative requirement when issuing evacuation alerts.

The Committee thanked staff for all the work completed in the EOC.

8. ADDENDA ITEMS/LATE ITEMS

None.

9. REPORTS BY STAFF

Ms. Kinneman announced a new Director of Finance, Kelly Lownsbrough will commence her position with the FVRD on June 15, and highlighted her previous experience. Ms. Kinneman also thanked Ms. Hodson for filling the position of Acting Director of Finance.

It was also announced at this time BC Hydro is working at the Chilliwack Office, and when finished in total there will be 8 standard electric car charging stations and 2 fast-charging stations in the parking lot. These charging stations will be monetized.

10. REPORTS BY ELECTORAL AREA DIRECTORS

Director Engar reported on homelessness in his area and involvement in creating a Wildfire Protection Plan.

Director Dixon reported on meetings regarding Phase three of the Aquadel Crossing project, as well as openings of some restaurants and businesses in Cultus Lake and educating the public in this area regarding physical distancing.

Director Adamson reported on a recently fire in Spuzzum, the reopening of Tashme Museum, curbside pick-ups at the Yale regional library, plans for Kassian park in Yale, as well as new artisan signs in Yale.

Director Stobbart reported on the farmers market in Deroche, and the passing of Mel Stevens, former Fire Chief of the North Fraser Volunteer Fire Department.

Director Bales reported on the farmers market in Deroche, and planning for a community garden in Deroche.

Director Dickey commented on reduction of development in his area, and thanked Kristy Hodson for filling the position of Acting Director of Finance.

11. PUBLIC QUESTION PERIOD FOR ITEMS RELEVANT TO AGENDA

The public was provided an opportunity to provide questions by email, and call-in during the meeting; no emails or calls were received.

12. RESOLUTION TO CLOSE MEETING

Moved By ADAMSON

Seconded By DIXON

THAT the meeting be closed to the public, except for Senior Staff and the Executive Assistant, for the purpose of receiving and adopting Closed Meeting minutes convened in accordance with Section 90 of the *Community Charter* and to consider matters pursuant to:

- Section 90(2)(b) of the *Community Charter* - the consideration of information received and held in confidence relating to negotiations between the regional district and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party.

CARRIED

The meeting was recessed at 2:34pm.

13. RECONVENE OPEN MEETING

The meeting was reconvened at 2:43 pm.

14. RISE AND REPORT OUT OF CLOSED MEETING

None.

15. ADJOURNMENT

Moved By DAVIDSON
Seconded By ENGAR

THAT the Electoral Area Services Committee Open Meeting of June 9, 2020 be adjourned.

CARRIED

The Electoral Area Services Committee Open Meeting of June 9, 2020 adjourned at 2:44 pm.

MINUTES CERTIFIED CORRECT:

.....

Director Bill Dickey, Chair

To: Electoral Area Services Committee
From: Tracey Heron, Planning Technician

Date: 2020-07-14
File No: 3015-20 2020-02

Subject: Agricultural Land Commission Application – Non-Farm Use on PID 023-261-510, Bridal Falls Road, Electoral Area “D”

RECOMMENDATION

THAT the application for non-farm use within the Agricultural Land Reserve on Crown Land property on Bridal Falls Road, Electoral Area “D”, be forwarded to the Agricultural Land Commission for consideration;

AND THAT the Agricultural Land Commission consider the staff report dated July 14, 2020 under file number 3015-20 2020-02.

STRATEGIC AREA(S) OF FOCUS

Support Environmental Stewardship
Foster a Strong & Diverse Economy
Provide Responsive & Effective Public Services

PRIORITIES

Priority #4 Tourism
Priority #5 Outdoor Recreation

BACKGROUND

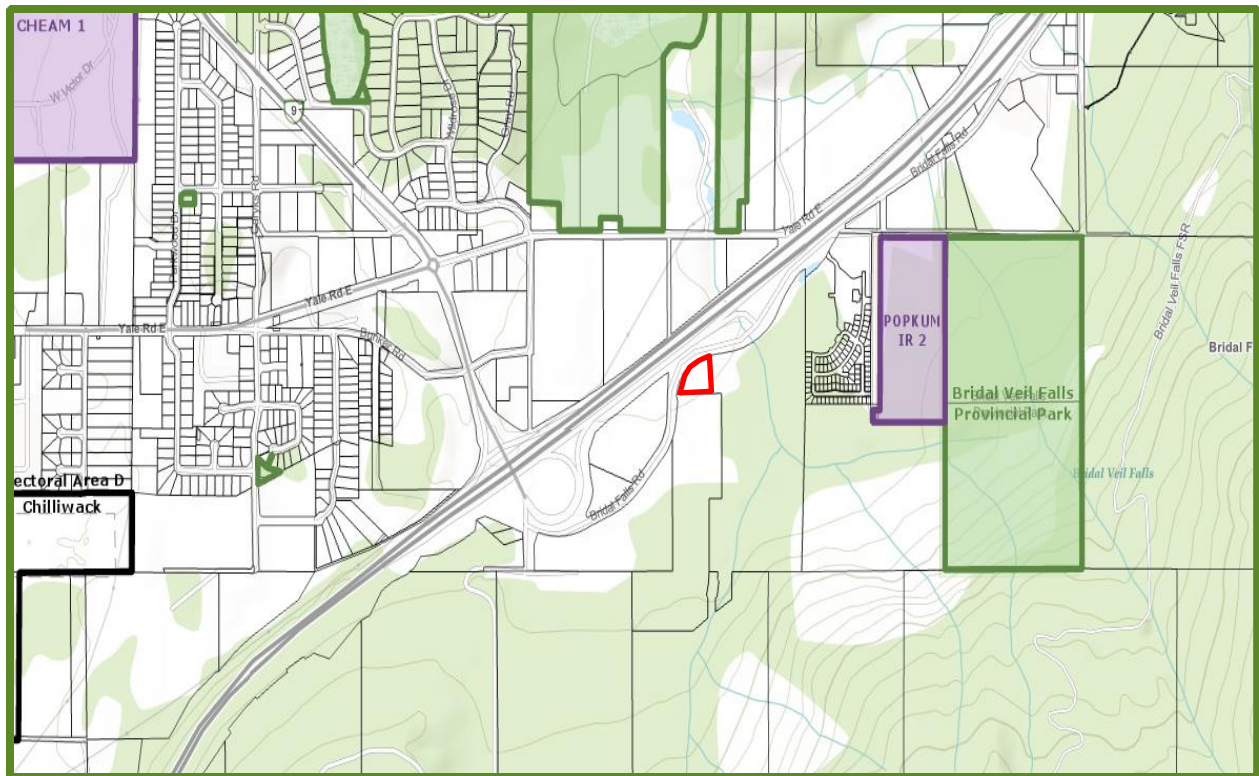
The West Coast Soaring Club (WCSC) has been using the Landing Field at Bridal Falls since approximately 1995. During that time, the Fraser Valley Regional District (FVRD) had a Licence of Occupation for the site and had supported the use of the Landing Field for paragliding and hang gliding activities. In 2006, the FVRD discontinued their tenure for a 0.4 hectare portion of the Crown Land parcel, allowing the WCSC to obtain their own Licence of Occupation in 2007 for this parcel portion.

This land tenure is due for renewal and the WCSC is looking to secure an additional 10-year tenure. As the tenured land is within the Agricultural Land Reserve (ALR), a non-farm use application has to be made to the Agricultural Land Commission (ALC) prior to review by the Ministry of Forests, Lands, Natural Resource Operations and Rural Development (FLNRORD). The Ministry has provided authorization for the WCSC to apply to the ALC for the landing area for hang gliding and paragliding purposes over the subject property, and a resolution from the FVRD Board to forward the non-farm use application to the ALC is required.

PROPERTY DETAILS			
Electoral Area	D		
Address	Bridal Falls Rd		
PID	023-261-510		
Folio	733.06430.145		
Lot Size	0.4 ha		
Owner	Crown Provincial	Agent	West Coast Soaring Club
Current Zoning	Rural (R)	Proposed Zoning	No change
Current OCP	Park Areas (P)	Proposed OCP	No change
Current Use	Recreational	Proposed Use	No change
Development Permit Areas	3-D – Geological Hazard; 6-D – Riparian Areas		
Agricultural Land Reserve	Yes		

ADJACENT ZONING & LAND USES		
North	^	Rural (R); Bridal Falls Road
East	>	Rural (R); Forest
West	<	Rural (R); Bridal Falls Road, Driving Range
South	v	Rural (R); Stream, Golf course

NEIGHBOURHOOD MAP



PROPERTY MAP



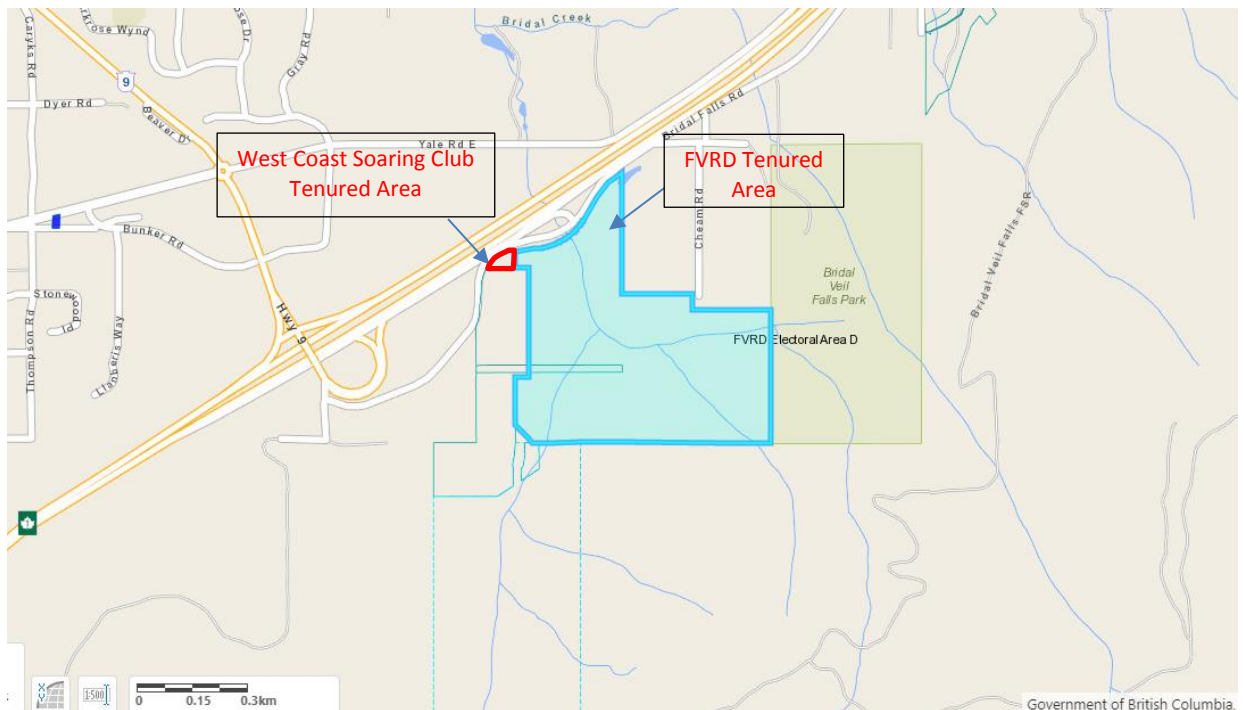
DISCUSSION

Organization

The West Coast Soaring Club (WCSC) was established in 1985, and is a non-profit society representing the interests of hang gliding and paragliding pilots in the Fraser Valley. In 2005, the WCSC prepared a Management Plan in an effort to retain use of the Landing Field on Bridal Falls Road, where the Fraser Valley Regional District (FVRD) held tenure for a future regional park. Obtaining a long-term agreement for two launch sites and the Landing Field was important for the growth of their sport in the Fraser Valley given the uncertain future of land development in the area.

Fraser Valley Regional District

The Regional District Park Commission passed a resolution on March 23, 1993 to pursue the development of a regional park in the Bridal Falls area, after which time tenure was obtained on two land parcels. In 2006, the FVRD recognized the value of the Landing Field location for the WCSC, and supported their need of long-term stability by severing the Landing Field area from their tenure, allowing the WCSC to obtain their own tenure.



Proposal

The Licence of Occupation which the WCSC holds on the subject property is due for renewal, and as part of the process to obtain a new 10-year tenure on the Crown Land parcel, they are required by the

province to apply to the Agricultural Land Commission (ALC) for non-farm use as the subject property lies within the Agricultural Land Reserve (ALR). The Ministry of Forests, Lands, Natural Resource Operations and Rural Development has provided authorization to the WCSC to apply to the ALC for the landing area for hang gliding and paragliding purposes on this Crown Land parcel.

ALC non-farm use applications are referred to local governments and require a resolution from the FVRD Board to forward the application to the ALC before the application may be considered by the ALC.

Land Use

The subject property is zoned Rural (R) in *Regional District of Fraser Cheam Bylaw 75, 1976*, with *Club* as a permitted use. *Club* is defined in the bylaw as a group of people organized for a common purpose to pursue common goals, interests or activities and usually characterized by certain membership qualifications, payment of fees and dues, regular meetings, and a constitution and bylaws.

The Landing Field area is designated Park (P) in *Official Community Plan for Popkum-Bridal Falls part of Electoral Area "D" Bylaw No. 200, 1997*.

Use Policies

4.7.8 PARK AREAS may be used only for recreation, conservation and ancillary uses, except as otherwise provided by the Responsible Authority. Land located within the Agricultural Land Reserve may be used for agricultural uses.

The use of the land by the WCSC for hang gliding and paragliding purposes is supported in both the FVRD zoning and official community plan bylaws.

Property Constraints

The subject property is located within two Development Permit Areas (DPA). DPA 3-D is for the protection of development from geological hazards, and DPA 2-F is for the protection of riparian areas. The property is swampy as it is part of a wetland system and the northern portion of the property is in an alluvial hazard area where the boundaries are not determined.

Environmental Values

As a result of the wetland and associated mountain streams, environmental studies carried out for the adjacent golf course found evidence of blue-listed amphibians in the area, or those species on the provincial list designated as "vulnerable or sensitive". The area also supports deer and black bear, as well as being a significant habitat for waterfowl. The wetland and alluvial fan complex serves as an important groundwater recharge area for the Popkum region.

Environmental Impact

The activities performed by the WCSC create a low environmental impact on the subject property. Only a portion of the tenured area is mowed due to the swampy conditions on the site, with the non-mowed

areas left undisturbed. Minimal improvements to the area have included the addition of an iron pipe driven into the ground to support their windsock pole, and the placement of a portable toilet on private land across the road from the Landing Field during the summer months.

Participants are warned that there is wildlife in the area and are advised not to harass or feed any of the wildlife they encounter. Garbage is regularly collected by members along the roadside and adjoining fields in the area.

COST

The application fee of \$300.00 has been received by the applicant.

CONCLUSION

The WCSC has been using the existing Landing Field site since approximately 1995 and have had continual support from the FVRD for their activities and the low environmental impact that their activity creates in this sensitive wetland area. The use of the land is also consistent with both zoning and official community plan bylaws, and staff recommend that the FVRD Board resolve to forward the application to the ALC.

Options

Option 1 Forward to the ALC (Staff recommendation)

THAT the Fraser Valley Regional District Board forward the application for the ALR non-farm use to the Agricultural Land Commission;

AND THAT the Agricultural Land Commission consider the staff report dated July 14, 2020 under file number 3015-20 2020-02.

Option 2 Refuse

THAT the Fraser Valley Regional District Board refuse the application for the ALR non-farm use and not forward the application to the Agricultural Land Commission.

COMMENTS BY:

Graham Daneluz, Director of Planning & Development

Reviewed and supported.

Kelly Lownsborough, Chief Financial Officer/ Director of Financial Services

Reviewed and supported.

Jennifer Kinneman, Chief Administrative Officer

Reviewed and supported.

To: Electoral Area Services Committee

Date: 2020-07-14

From: Julie Mundy, Planner 1

File No: 3090-20 2020-07

Subject: Development Variance Permit 2020-03 to vary the height regulation in the Waterfront Residential (R-3) zone at 29 Lakeshore Drive, Cultus Lake, Electoral Area H

RECOMMENDATION

THAT the Fraser Valley Regional District Board issue Development Variance Permit 2020-03 for 29 Lakeshore Drive, Cultus Lake Park, to vary the height regulation from maximum two (2) stories plus basement or crawlspace and roof to maximum three (3) stories plus basement and roof to facilitate the construction of a single-family dwelling, subject to consideration of comments or concerns raised by the public.

STRATEGIC AREA(S) OF FOCUS

Provide Responsive & Effective Public Services

BACKGROUND

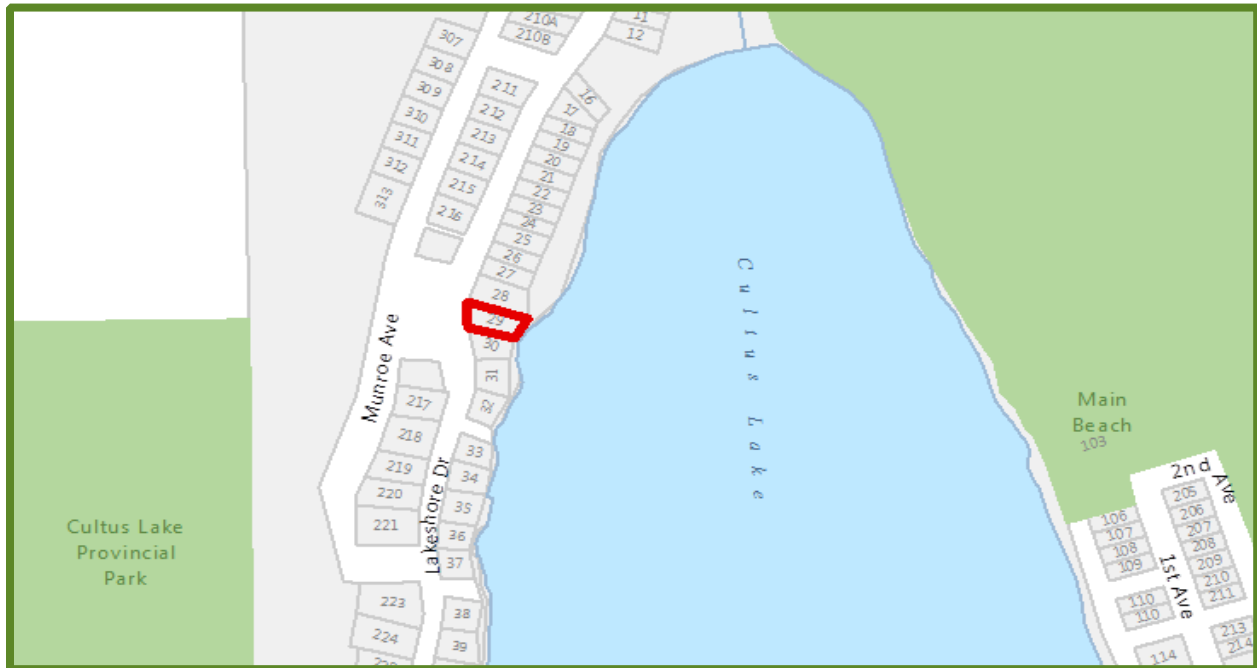
The leaseholders of 29 Lakeshore Drive (Mr. and Mrs. Mendonca) are planning to construct a new residence. The lot has a steep grade, which presents a challenge for the leaseholders to construct their desired house and to adhere to *Cultus Lake Park Zoning Bylaw No. 1375, 2016* height regulations. The leaseholders have applied for a Development Variance Permit to vary the height regulation in the Waterfront Residential (R-3) zone. The proposal would see an additional storey permitted. The maximum allowable building height will not be increased.

PROPERTY DETAILS			
Electoral Area	H		
Address	29 Lakeshore Drive		
PID	n/a		
Folio	733.07000.029		
Lot Size	3250 square feet		
Owner	Kelly & Shelby Mendonca	Agent	n/a
Current Zoning	Waterfront Residential (R-3)	Proposed Zoning	No change
Current Use	Residential	Proposed Use	No change

ADJACENT ZONING & LAND USES

North	^	Waterfront Residential (R-3); Single-family Residences
East	>	Local Park & Recreation (P-1); Cultus Lake
West	<	Local Park & Recreation (P-1); Park area
South	v	Waterfront Residential (R-3); Single-family Residences

NEIGHBOURHOOD AND PROPERTY MAPS



DISCUSSION

Requested Variance 2020-03

The applicants have applied to increase the number of stories permitted in the Waterfront Residential (R-3) zone in Cultus Lake Park. The request is to vary the height regulation from two (2) stories plus basement or crawlspace and roof; to three (3) stories plus basement and roof. The variance will allow for a varied configuration of internal space by permitting an additional storey. The applicants are not requesting a change to the maximum building height.

Height Requirements (R-3 zone, Cultus Lake Park)		
Permitted (zoning)	6.7 metres (22 feet)	2 stories, basement or crawlspace, roof
Proposed	6.7 metres (22 feet)	3 stories, basement, roof
Requested Variance	0 metres	<u>1 storey</u>

The applicant provides the following rationale for the variance:

1. The property is unique in that it has a steep grade which warrants special consideration
2. The proposed house will adhere to existing maximum height requirements
3. The house will appear consistent with adjacent properties and recent construction
4. The proposed house design includes two onsite parking spaces to help alleviate parking congestion on the road

The proposed house design includes a two-car garage. The applicant advises that the consequence of designing a house with a garage on a steep lot is that the house is pushed further over the steep grade. Other homeowners have been able to keep their house tight to the bank, which reduces the drop in grade, by omitting the garage.

The difference in elevation from Lakeshore Drive to the proposed basement floor is approximately 21 feet. The height regulation currently allows for a basement (with a maximum height of 9 feet) OR a crawlspace. With the steep grade, maximum basement floor height, and no crawlspace permitted, an additional solution is needed to close the gap between the elevation difference between the front and rear portion of the lot.

Alternative solutions could include:

- Allowing for a basement AND a crawlspace. This option on its own is insufficient to close the elevation gap with proposed house design
- Reducing the mass of the house to minimize the elevation difference. This would require significantly reducing the house footprint
- Keeping the house close to the road with only a single storey above Lakeshore Drive. The leaseholders feel that this option would require the removal of the onsite parking, which is currently in the prime living space at the elevation of Lakeshore Drive.

If the variance is not granted, the leaseholders would need to explore options to redesign their house with a significantly smaller floor area.

Related Variance 2018-30 for 309 Munroe Ave

In October 2018, a height regulation DVP was approved for 309 Munroe Ave. DVP 2018-30 altered the height regulation in the Hillside Residential (R-4) zone from two (2) stories plus basement or crawlspace and roof; to two (2) stories plus basement, parking level garage, and roof.

A consideration in the variance approval was the steep onsite terrain.

Referral to Cultus Lake Park (CLP)

The DVP application was referred to CLP for input on applicable CLP bylaws, policies, and technical concerns. The referral was on the agenda of the April 15, 2020, Cultus Lake Park Board meeting. The Park Board provided a recommendation supporting the variance application for 29 Lakeshore Drive, with no additional comments.

Engineering Requirements

There is an FVRD managed sewer line crossing the rear of the property. The FVRD Engineering department has concerns about allowing construction over a sewer line. The Mendoncas and the FVRD Engineering Department engaged in detailed discussion on how to resolve this matter. An agreement was reached to allow the residence to cantilever over the septic line provided the following requirements are met:

- 3.5m overhead clearance between the ground and the cantilevered structure
- 1.5m setback from the foundation to the concrete encasing of the sewer main
- The structures footings are at the same depth or deeper the sewer main inverts
- A sleeve is to be installed parallel to the existing sewer main
- Two posts may be used on cantilevered (lakeside) portion of the building, with established pre and post-construction monitoring

Building Permit

Preliminary construction drawings have been submitted to FVRD for review. All setbacks and rezoning requirements, aside from height regulations, appear to be met. Once a building permit application has been submitted, FVRD will undertake a thorough review of zoning, engineering, and building requirements.

Neighbourhood Notification and Input

All property owners within 30 metres of the property will be notified by FVRD of the Development Variance Permit application and will be given the opportunity to provide written comments on the

proposal. FVRD staff have encouraged the applicant to advise neighbouring property owners and residents of the requested variance in advance of the mail-out notification. To date, two letters of opposition from a single leaseholder have been submitted.

COST

The application fee of \$1300.00 has been paid by the applicant.

CONCLUSION

Staff recommend the FVRD Board issue DVP 2020-03 to vary the height regulations for 29 Lakeshore Drive. The proposed construction

- conforms to the maximum height requirement in the Zoning Bylaw,
- is consistent with new construction in the area, and
- will meet all required engineering setbacks.

Option 1 – Issue (Staff Recommendation)

MOTION: THAT the FVRD Board issue Development Variance Permit 2020-03 for 29 Lakeshore Drive, Cultus Lake, Area H to vary the height regulation from maximum two (2) stories plus basement or crawlspace and roof, to maximum three (3) stories plus basement and roof to facilitate the construction of a single-family dwelling, subject to consideration of comments or concerns raised by the public.

Option 2 – Refuse

MOTION: THAT the Fraser Valley Regional District Board refuse Development Variance Permit 2020-03 for 29 Lakeshore Drive, Cultus Lake, Area H

Option 3 – Refer to Staff

MOTION: THAT the Fraser Valley Regional District Board refer Development Variance Permit 2020-03 for 29 Lakeshore Drive, Cultus Lake, Area H to staff.

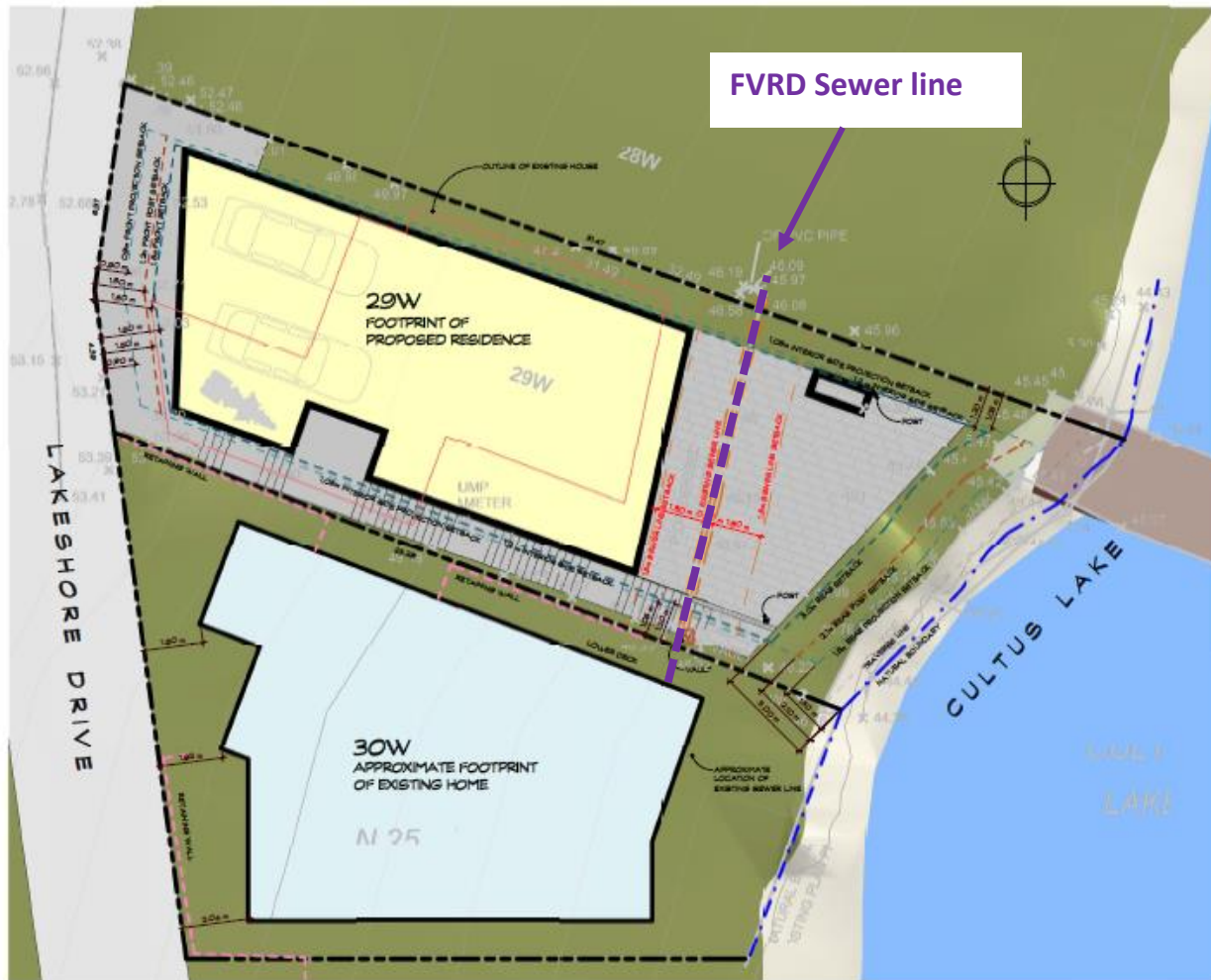
COMMENTS BY:

Graham Daneluz, Director of Planning & Development: Reviewed and supported

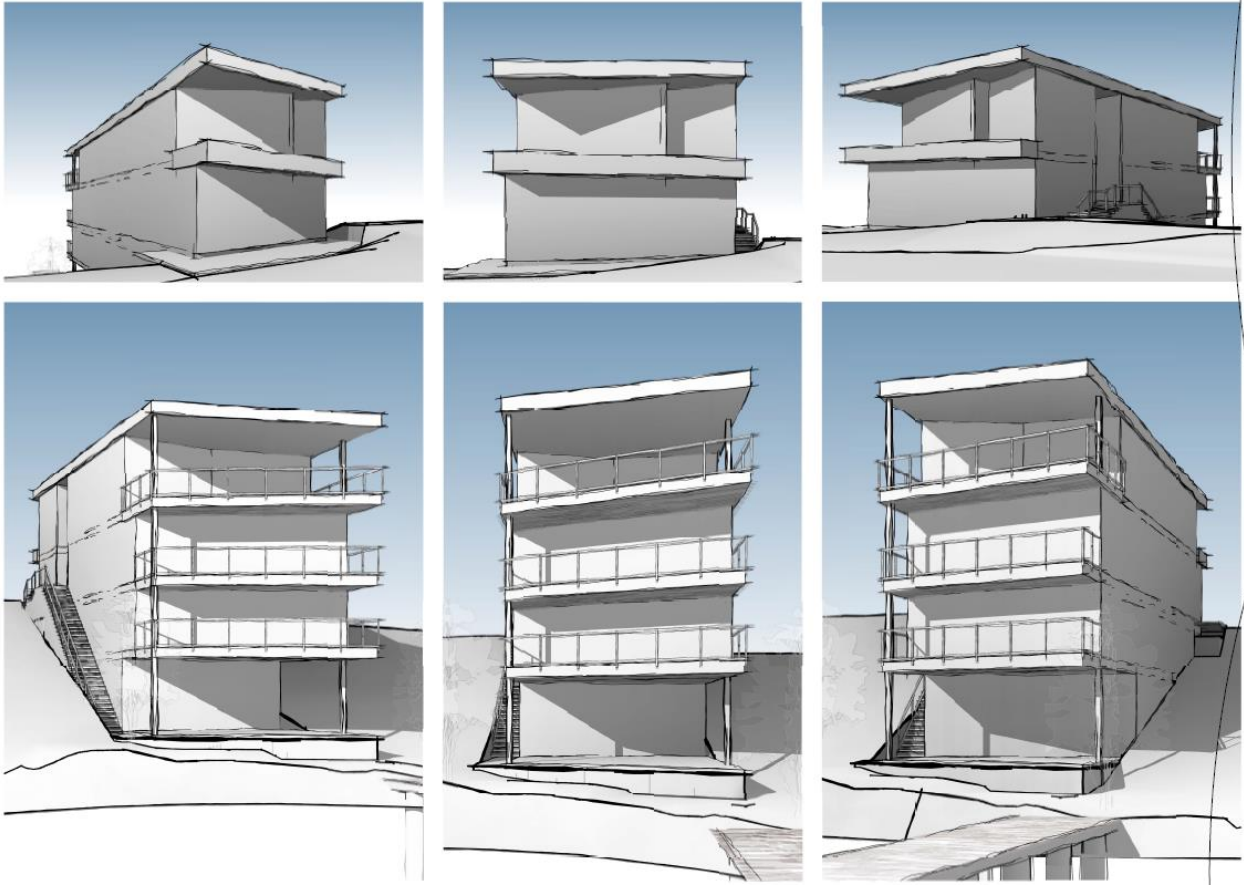
Kelly Lownsbrough, CFO/ Director of Financial Services: Reviewed and supported.

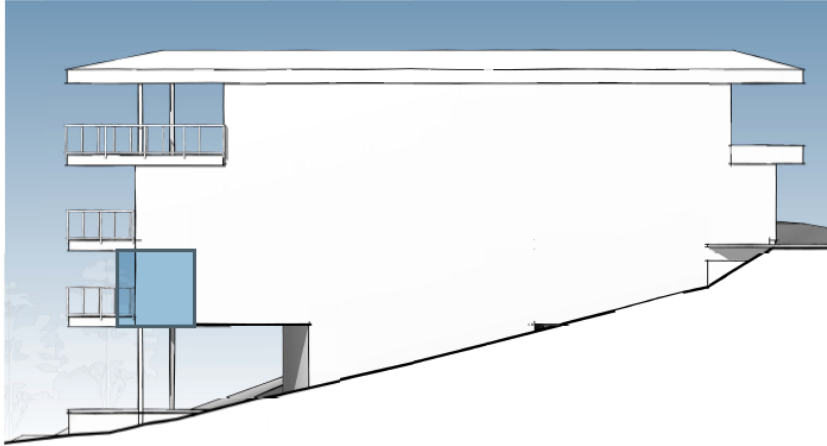
Jennifer Kinneman, Chief Administrative Officer: Reviewed and supported.

Appendix A – Site Plan

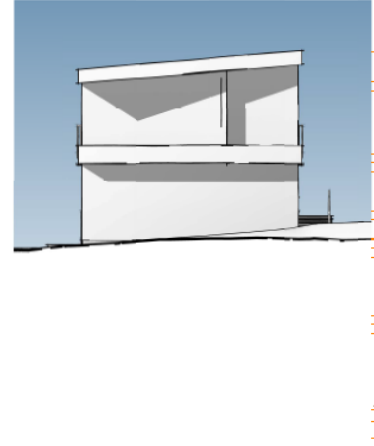


Appendix B – Conceptual Elevation Plans

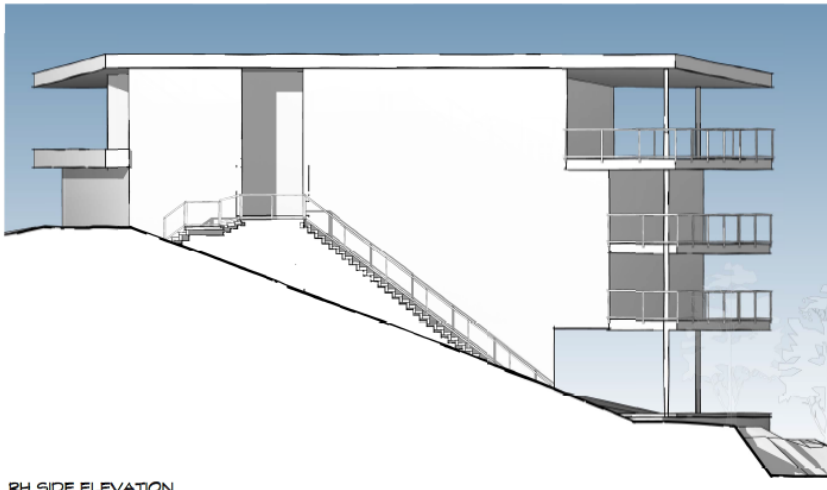




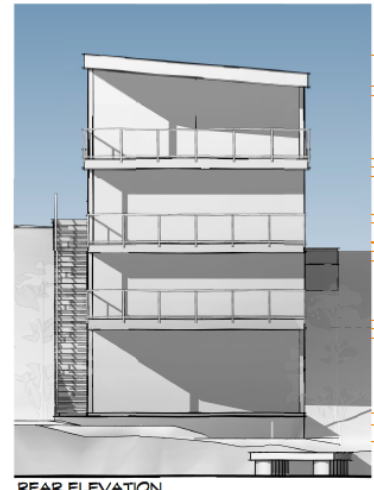
LH SIDE ELEVATION



FRONT ELEVATION



RH SIDE ELEVATION



REAR ELEVATION

Appendix C – Existing houses



Appendix D – Letters from the Public

From: [John Lee](#)
To: [Planning Info](#)
Subject: 29 Lakeshore
Date: May 12, 2020 11:13:01 AM

On May the 2nd I forwarded an email to Fraser Valley Regional District regarding the proposed building at 29 Lakeshore Dr., but did not get a response.

Since then I have learned that in 1994 it was proposed that if a lot exceeded 65 feet in depth, no dwelling shall be extended so that any part thereof is more than 55 feet from rear lot line of lot upon which it is erected. [balconies not included]. This was to prevent exactly what is proposed for the building on lot 29. In the past the Parks Board refused to allow a lease owner to build to the waters edge on this lot.

There is also the numerous problems with the building of a structure over the sewer line.
It must be kept in mind that this is a park meant for the public as well as the residence and the allowing for the building of a very large home right to the edge of the lake takes away from everyone's enjoyment of the park.

We look forward to a response to this letter.
John and Rosemary Lee

From: [John Lee](#)
To: [Planning Info](#)
Cc:
Subject: 29 Lakeshore Cultus Lake
Date: May 2, 2020 3:29:07 PM

We are the owners of 27 Lakeshore Dr., Cultus Lake.

We wish to express our concerns regarding the proposed building at 29 Lakeshore Dr.

We understand a number of years ago, for some unknown reason, the boundaries of lot 28 and 29 were altered so that those property boundaries extended into the lake. The section of land that allowed access to the public dock, which existed at that time, was granted to those owners cutting off public access to the lake front.

We understand that the new owners of 29 Lakeshore want to build up to within 10ft of the front boundary greatly affecting the view of other properties on Lakeshore.

We and other owners on Lakeshore wish to express our objection to the impact this will have not only on our views, but also on our property values.

Thank-you for your attention to our concerns.

John and Rosemary Lee

Sent from my iPhone

SCHEDULE A-4

Permit Application

I / We hereby apply under Part 14 of the *Local Government Act* for a;

☒ Development Variance Permit

☐ Temporary Use Permit

☐ Development Permit

An Application Fee in the amount of \$ _____ as stipulated in FVRD Application Fees Bylaw No. 1231, 2013 must be paid upon submission of this application.

Civic Address **29 lakeshore Drive, Cultus Lake** PID _____

Legal Lot **29** Block _____ Section _____ Township _____ Range _____ Plan _____
Description _____

The property described above is the subject of this application and is referred to herein as the 'subject property.' This application is made with my full knowledge and consent. I declare that the information submitted in support of the application is true and correct in all respects.

Owner's
Declaration

Name of Owner (print) Antonio Kelly Mendonca	Signature of Owner 	Date Feb. 7, 2020
Name of Owner (print) Shelby Mendonca	Signature of Owner 	Date Feb 7, 2020

Owner's
Contact
Information

Address		City Cultus Lake
Email	Postal Code V2R 5R3	
Phone	- "	Fax

Office Use Only	Date 2020-02-07	File No. 30910-20
	Received by Andrea	Folio No. 733 100107000.029
	Receipt No. 10633/b	Fees Paid: \$ 1300 -

Agent

I hereby give permission to _____ to act as my/our agent in all matters relating to this application.

Only complete this section if the applicant is NOT the owner.

Signature of Owner	Date
Signature of Owner	Date

Agent's contact information and declaration

Name of Agent		Company
Address		City
Email		Postal Code
Phone	Cell	Fax

I declare that the information submitted in support of this application is true and correct in all respects.

Signature of Agent	Date
--------------------	------

Development Details

Property Size _____ Present Zoning _____

Existing Use _____

Proposed Development _____

Proposed Variation / Supplement Add Extra Basement

Variance Add Second Basement

(use separate sheet if necessary)

Reasons in Support of Application Extremely steep lot, 24ft below garage to ground.

Both existing neighbor to north & south are in support of the variance. The variance does not affect the height. Approx 10 lake front lot out of 107 have steep grades. Parking is an issue, this plan maximizes parking. Road Height & garage floor height does not work with this lot.

Page 7 of 8

**Riparian
Areas
Regulation**

Please indicate whether the development proposal involves residential, commercial, or including vegetation removal or alteration; soil disturbance; construction of buildings and structures; creation of impervious or semi-pervious surfaces; trails, roads, docks, wharves, bridges and, infrastructure and works of any kind – within:

yes
☐

no
☐

30 metres of the high water mark of any water body

yes
☐

no
☐

a ravine or within 30 metres of the top of a ravine bank

"Water body" includes; 1) a watercourse, whether it usually contains water or not; 2) a pond, lake, river, creek, or brook; 3) a ditch, spring, or wetland that is connected by surface flow to 1 or 2 above.

Under the *Riparian Areas Regulation* and the *Fish Protection Act*, a riparian area assessment report may be required before this application can be approved.

**Contaminated
Sites Profile**

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed "Site Profile" for properties that are or were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*. Please indicate if:

yes
☐

no
☐

the property has been used for commercial or industrial purposes.

If you responded 'yes,' you may be required to submit a Site Profile. Please contact FVRD Planning or the Ministry of Environment for further information.

**Archaeological
Resources**

Are there archaeological sites or resources on the subject property?

yes
☐

no
☐

I don't know
☐

If you responded 'yes' or 'I don't know' you may be advised to contact the Archaeology Branch of the Ministry of Tourism, Sport and the Arts for further information.

Required Information

When providing Application Forms to the applicant, Regional District staff shall indicate which of the following attachments are required for this application. **Additional information may also be required at a later date.**

	Required	Received	Details
Location Map			Showing the parcel (s) to which this application pertains and uses on adjacent parcels
Site Plan			Reduced sets of metric plans
At a scale of:			North arrow and scale
1: _____			Dimensions of property lines, rights-of-ways, easements
			Location and dimensions of existing buildings & setbacks to lot lines, rights-of-ways, easements
			Location and dimensions of proposed buildings & setbacks to lot lines, rights-of-ways, easements
			Location of all water features, including streams, wetlands, ponds, ditches, lakes on or adjacent to the property
			Location of all existing & proposed water lines, wells, septic fields, sanitary sewer & storm drain, including sizes
			Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
			Natural & finished grades of site, at buildings & retaining walls
			Location of existing & proposed access, pathways
			Above ground services, equipment and exterior lighting details
			Location & dimensions of free-standing signs
			Storm water management infrastructure and impermeable surfaces
			Other:
Floor Plans			Uses of spaces & building dimensions
			Other:
Landscape Plan			Location, quantity, size & species of existing & proposed plants, trees & turf
Same scale as site plan			Contour information (_____ metre contour intervals)
			Major topographical features (water course, rocks, etc.)
			All screening, paving, retaining walls & other details
			Traffic circulation (pedestrian, automobile, etc.)
			Other:
Reports			Geotechnical Report
			Environmental Assessment
			Archaeological Assessment
			Other:

The personal information on this form is being collected in accordance with Section 26 of the *Freedom of Information and Protection of Privacy Act, RSBC 1996 Ch. 165* and the *Local Government Act, RSBC 2015 Ch. 1*. It will only be collected, used and disclosed for the purpose of administering matters with respect to planning, land use management and related services delivered, or proposed to be delivered, by the FVRD. Questions about the use of personal information and the protection of privacy may be directed to the FVRD Privacy Officer at 45950 Cheam Avenue, Chilliwack, BC V2P 1N6, Tel: 1-800-528-0061 FOI@fvrld.ca.

Cultus Lake Park Board

4165 Columbia Valley Road

Cultus Lake, BC V2R 5B5

To Whom it May Concern,

My wife and I have recently submitted an application to the Fraser Valley Regional District for a variance at 29 Lakeshore Drive. **The variance requested is to add a second basement to the dwelling to facilitate the house reaching the existing grade;** which sits at 24 feet below the crown of the road.

We are long time residents of Cultus Lake, presently residing at 45642 Rachael Place. In October 2019 we purchased 29 Lakeshore Drive with the intent to build our forever home. **The purpose of reaching out to the Park Office is to garner the Boards support for our variance application.**

Precision Design drafted our plan to maximize parking to alleviate some of burden from the common area parking. (Please refer to attachment A)

The consequences of designing a house with a garage on a steep lot is that we push our house further over the steep grade, unlike lots just south of us with similar grades and no garages. (For example, lots 32,33,35,36,37,38,40,43,44) These homeowners were able to keep the house tight to the bank reducing the drop in grade; sacrificing parking in process and adding additional congestion to the street.

Please find attached (schedule B) a Topography Survey from Vector that shows our lot sloping 24 feet or 7.35 meters from the center of road to back of lot. The distance from the floor in the garage to existing grade is over 22 feet.

The plans we recently submitted to the FVRD meet the both the current height restrictions and other property setbacks. We are not planning on building our home higher than other homes in the area, simply looking for a common sense approach to get from bottom of garage floor to existing grade that maintains curb appeal for both ourselves and the neighboring properties.

Our submitted proposal, by **Precision Design**, is a combination of crawlspace and part full height basement that works well with the existing slope of the lot. The current zoning seems to work with the majority of lots, however out of the 107 lake front parcels, only about 10 have the steep terrain similar to that of lot 29 Lakeshore Drive.

With a maximum allowable basement height of 9 Ft. and no option to put in a crawl space we are tasked with looking at other options to get house up to the existing ground level.

There are several other homes on Lakeshore drive that have set a precedent for this already and the home under construction located at 309 Monroe received this variance as well. We look forward to your support on this matter.

Kind regards

Kelly Mendonca & Shelby Mendonca

Please feel free to call for any clarification or discussion

This is the road side rendering. To show how it will look from the street. It is modest. And you can see front of house is all garage. Entrance on side.





FRASER VALLEY REGIONAL DISTRICT DEVELOPMENT VARIANCE PERMIT

Permit No. Development Variance Permit 2020-03 **Folio No.** 733.07000.029

Issued to: Antonio Kelly Mendonca & Shelby Mendonca

Address: 29 Lakeshore Drive, Cultus Lake, V2R 4Z9

Applicant: Antonio Kelly Mendonca & Shelby Mendonca

Site Address: 29 Lakeshore Drive, Cultus Lake, Area H

The lands affected by and subject to this permit are shown on Schedule "A", Location Map, attached hereto, which forms an integral part of this permit, and are legally described as:

29 LAKESHORE DRIVE,
LOT 29W, NEW WESTMINSTER DISTRICT, LEASE CULTUS LAKE PARK
Folio: 733.07000.029

LIST OF ATTACHMENTS

Schedule "A": Location Map

Schedule "B": Elevation Drawings

AUTHORITY TO ISSUE

1. This Development Variance Permit is issued under Part 14 - Division 9 of the *Local Government Act*.
-

BYLAWS SUPPLEMENTED OR VARIED

Cultus Lake Park Zoning Bylaw No. 1375, 2016 is **varied** as follows:

Section 5.3.3.3 – the maximum building/structure height is varied from

- 6.7m (22ft) Maximum two (2) Stories plus Basement or Crawlspace and roof; to
 - 6.7m (22ft) Maximum three (3) Stories plus Basement and roof.
-

SPECIAL TERMS AND CONDITIONS

1. No variances other than those specifically set out in this permit are implied or to be construed.
2. If the holder of this permit does not commence the construction with respect to which the Permit was issued within two (2) years after the date of the permit, this permit shall lapse.
3. Development of the site shall be undertaken in accordance with the Site Plan attached hereto as Schedule "B".

4. A building permit shall be issued by the Fraser Valley Regional District prior to any construction on the property.
5. All new construction shall be generally in compliance with Schedule "B"

GENERAL TERMS AND CONDITIONS

1. This Development Variance Permit is issued Pursuant to Part 14 - Division 9 of the *Local Government Act*.
2. This Development Variance Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under Section 524 of the *Local Government Act*.
3. Nothing in this permit shall in any way relieve the developer's obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.
4. Nothing in this permit shall in any way relieve the developer's obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Public Health Act*, the *Fire Services Act*, the *Safety Standards Act*, and any other provincial statutes.
5. The Archaeology Branch of the Province of British Columbia must be contacted (phone 250-953-3334) if archaeological material is encountered on the subject property. Archaeological material may be indicated by dark-stained soils containing conspicuous amounts of fire-stained or fire-broken rock, artefacts such as arrowheads and other stone tools, or human remains. If such material is encountered during demolition or construction, a Heritage Conservation Act Permit may be needed before further development is undertaken. This may involve the need to hire a qualified Archaeologist to monitor the work.

SECURITY DEPOSIT

As a condition of the issuance of this Permit, and pursuant to Section 502 of the *Local Government Act*, the Regional Board is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit

Should the holder of this permit:

- a. fail to complete the works required to satisfy the landscaping conditions contained herein,
- b. contravene a condition of the permit in such a way as to create an unsafe condition,

The Regional Board may undertake and complete the works required to satisfy the landscaping conditions, or carry out any construction required to correct an unsafe condition at the cost of the holder of the permit and may apply the security in payment of the costs of the works, with any excess to be returned to the holder of the permit.

Security Posted: (a) an irrevocable letter of credit in the amount of: \$ <N/A>.
(b) the deposit of the following specified security: \$ <N/A>.

Note: The Regional District shall file a notice of this permit in the Land Title Office stating that the land described in the notice is subject to Development Variance Permit Number 2020-03. The notice shall take the form of Appendix I attached hereto.

AUTHORIZING RESOLUTION PASSED BY THE BOARD OF DIRECTORS OF THE FRASER VALLEY REGIONAL DISTRICT ON THE <DAY> DAY OF <MONTH>, <YEAR>

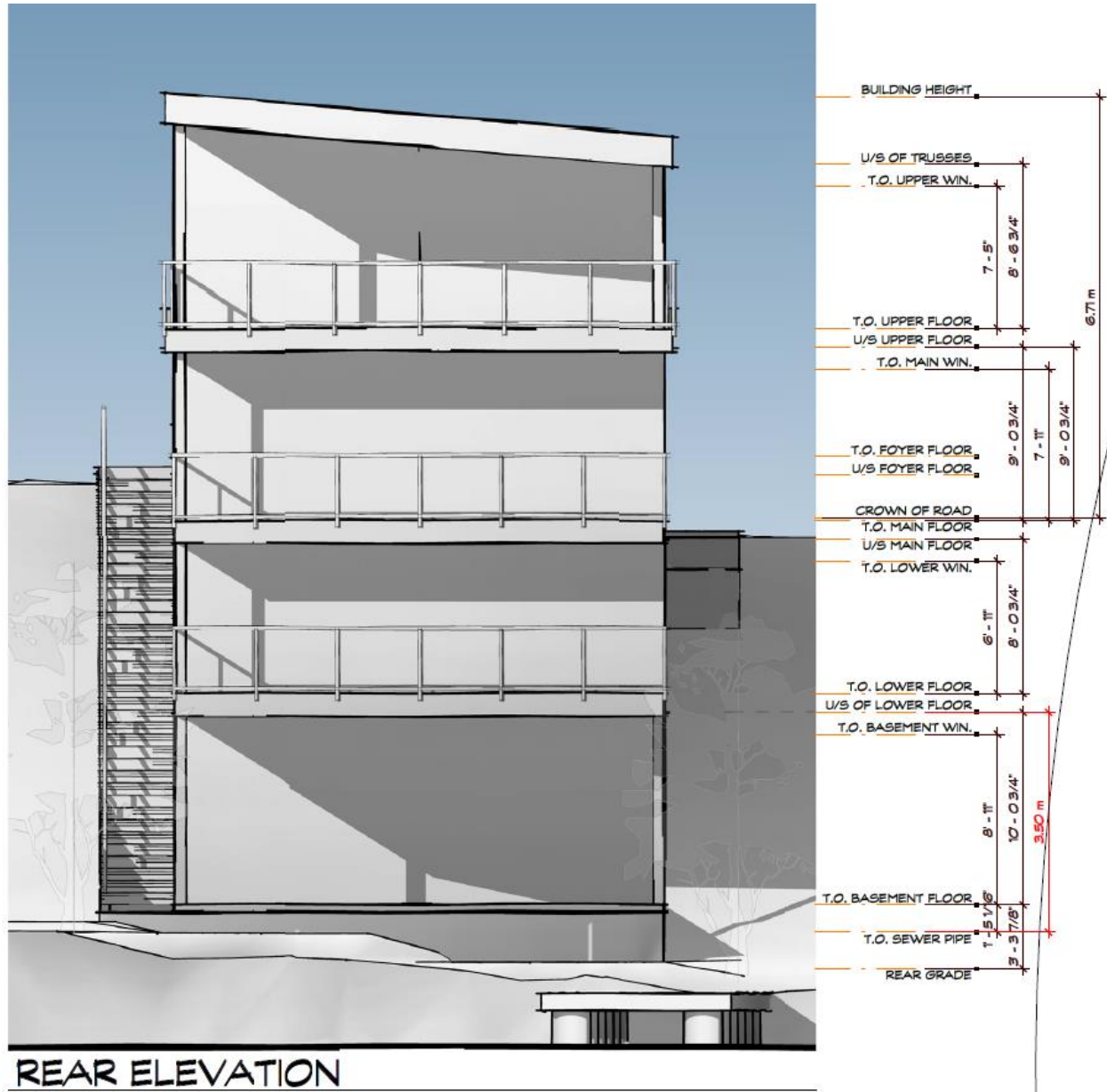
Chief Administrative Officer / Deputy

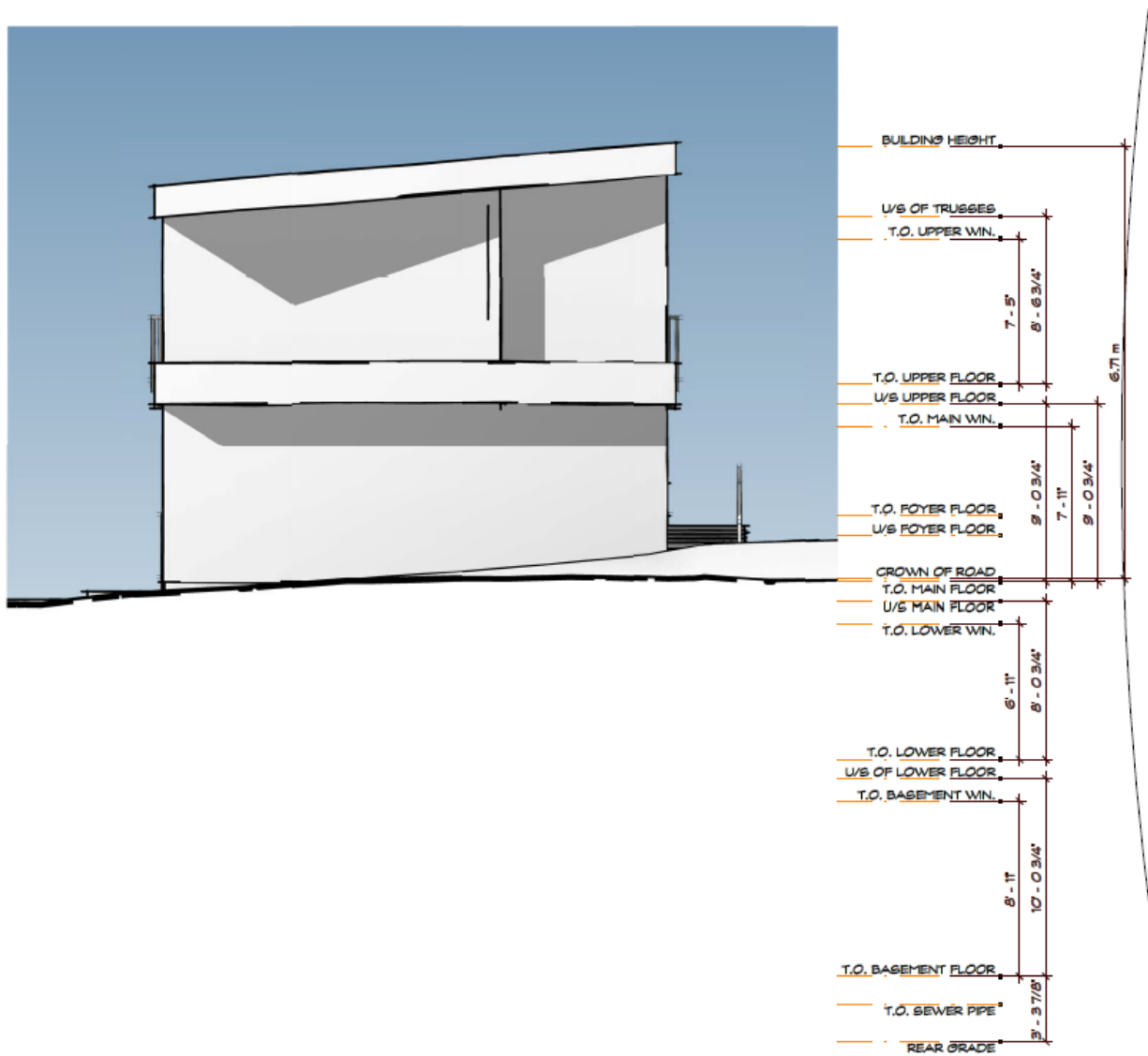
THIS IS NOT A BUILDING PERMIT

DEVELOPMENT VARIANCE PERMIT 2020-03
SCHEDULE "A"
Location Map

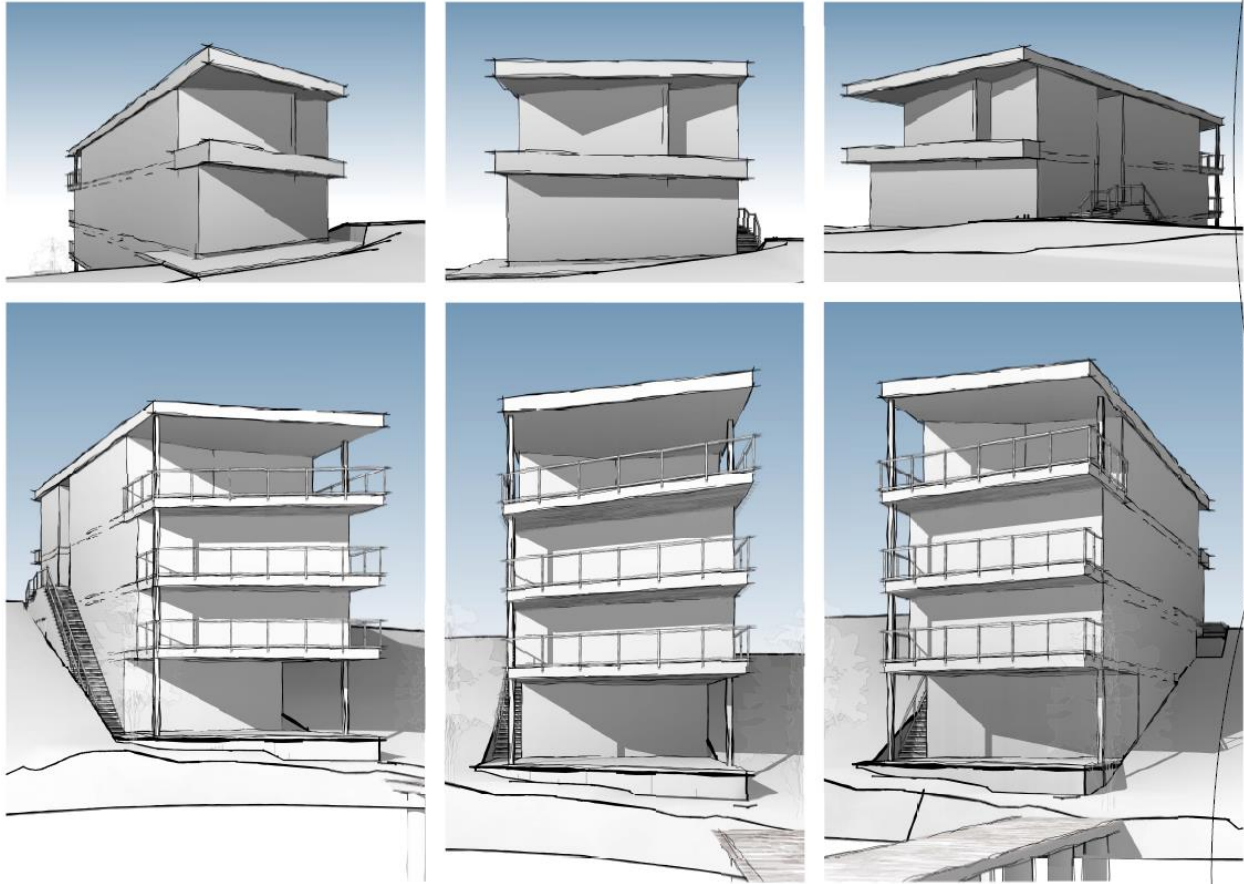


DEVELOPMENT VARIANCE PERMIT 2020-03
SCHEDULE "B"
Elevation Drawings





FRONT ELEVATION



To: Electoral Area Services Committee
 From: Gavin Luymes, Planning Technician

Date: 2020-07-14
 File No: 3090-20 2020-07

Subject: Application for Development Variance Permit 2020-07 to reduce the front and side lot line setbacks at 58261 Fancher Road, Electoral Area B

RECOMMENDATION

THAT the Fraser Valley Regional District Board issue Development Variance Permit 2020-07 to reduce the front lot line setback from 25 feet (7.62 metres) to 9.84 feet (3.0 metres) clear-to-sky and side lot line setback from 25 feet (7.62 metres) to 8 feet (2.43 metres) clear-to-sky to facilitate construction of an agricultural machine shop and storage building at 58261 Fancher Road, Electoral Area B, subject to the consideration of any comments or concerns raised by the public.

STRATEGIC AREA(S) OF FOCUS

Provide Responsive & Effective Public Services

BACKGROUND

The property owners have applied for a Development Variance Permit to reduce the front and side lot line setbacks for an agricultural building (machine and hay storage) as prescribed in *Zoning Bylaw for Electoral Area "C", 1977 of the Regional District of Fraser-Cheam*.

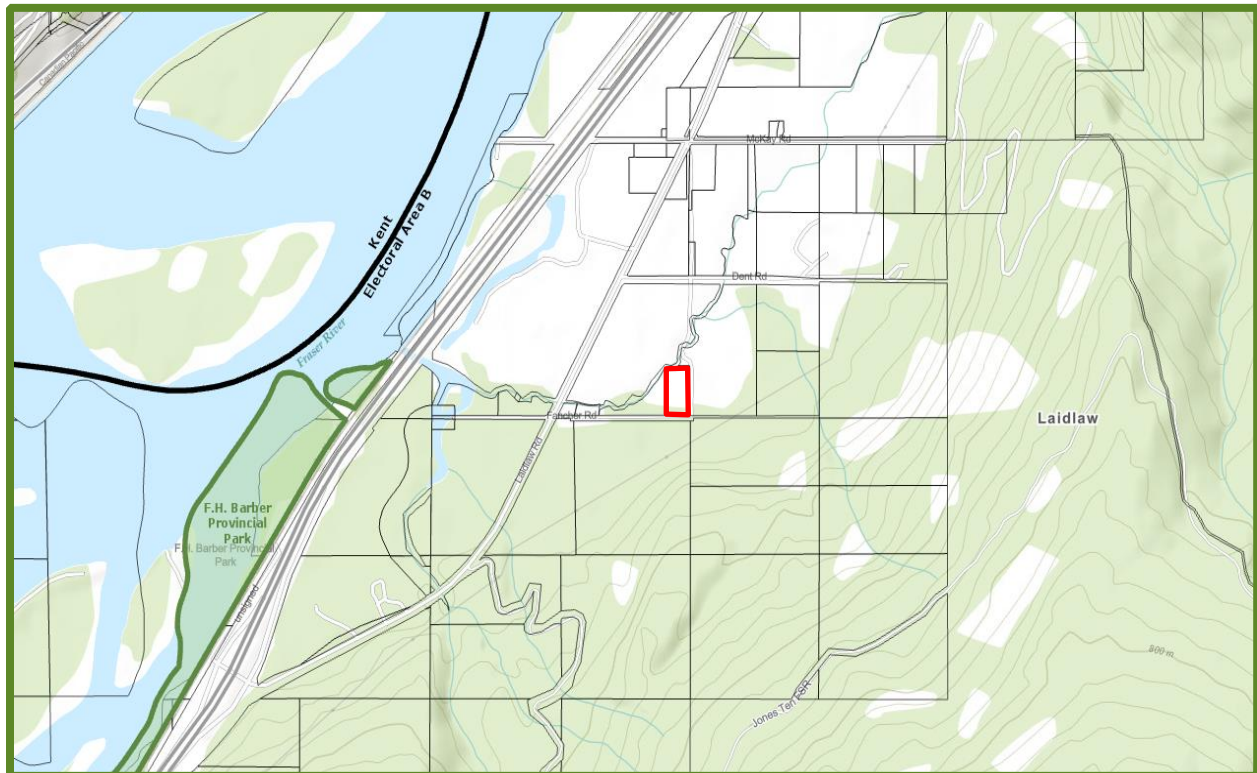
PROPERTY DETAILS			
Electoral Area	B		
Address	58261 Fancher Rd		
PID	023-616-164		
Folio	732.06218.800		
Lot Size	2.52 acres		
Owner	Darrin & Sheri Williamson	Agent	n/a
Current Zoning	Agricultural (AG-1)	Proposed Zoning	No change
Current OCP	Agricultural (AG)	Proposed OCP	No change
Current Use	Agricultural	Proposed Use	No change
Development Permit Areas	6-BC - Riparian		

Agricultural Land Reserve	Yes
---------------------------	-----

ADJACENT ZONING & LAND USES

North	^	Agricultural (AG-1); Lorenzetta Creek, Agricultural
East	>	Agricultural (AG-1); Agricultural
West	<	Agricultural (AG-1); Single-family Residence, Agricultural
South	v	Agricultural (AG-1); Fancher Rd, Forest

NEIGHBOURHOOD MAP



PROPERTY MAP



DISCUSSION

The applicants are planning to construct an agricultural machine shop and storage building at 58261 Fancher Road, Electoral Area B (Appendix A: Site Plan). The property is located south of Lorenzetta Creek. Covenant BK378963 requires a 15.0-metre setback from the bank of Lorenzetta Creek. The property is within the ALR. The applicants have informed FVRD staff that they intend to develop a hobby farm with a horse paddock and riding ring to the rear of the property in the future. The proposed use of the building and the land is consistent with the AG-1 zone.

Variance Request

The applicants have requested relaxation of the front lot line setback from 25.0 feet (7.62 metres) to 9.84 feet (3.0 metres) clear-to-sky and relaxation of the side lot line setback from 25.0 feet (7.62 metres) to 8.0 feet (2.43 metres) clear-to-sky. This would accommodate a proposed agricultural building for storage of farm machinery, horse trailers, hay, and grain. The applicants have confirmed this use and stated that no livestock will be stored in the building (Appendix B: Confirmation of Use).

	Front Lot Line Setback	Side Lot Line Setback
Permitted (Zoning)	25.0 feet (7.62 metres)	25.0 feet (7.62 metres)
Proposed	9.84 feet (3.0 metres)	8.0 feet (2.43 metres)
Requested Variance	15.2 feet (4.6 metres)	17.0 feet (5.2 metres)

Rationale for Variance

The applicants have requested relaxation of the front lot line setback to avoid disturbing or impeding access to their septic field. Previous building permits and Fraser Health septic approval documents show that the septic field is 36.0 to 40.5 metres from the property line (Appendix C: Septic and Well Location). This variance would allow 5.8 to 10.3 metres of separation between the proposed building and septic field. Were the variance denied this would decrease to between 1.2 and 5.7 metres. The variance provides greater separation between the proposed building and septic field.

The applicants have also requested relaxation of the side setback. The applicants wish to construct a drain pit for the proposed building and require more space to do this given the location of their driveway. They also hope to retain their willow tree and could not do so if the variance were denied because of the building envelope and space required to operate and position machinery (Figure 1). The variance would also ensure access between the house and proposed building to the septic field. Fraser Health documents further show that the onsite well limits vehicle or equipment access to the rear of the property along the eastern lot line (Appendix C: Septic and Well Location). The proposed building is screened from the neighbouring property by trees and a hedgerow (Figure 2).



Figure 1: The proposed building site from Fancher Road and the tree the applicants wish to retain.



Figure 2: Screening separating the neighbouring property from the proposed building site.

If the variance were denied the applicants could reduce the building in size or seek to relocate elsewhere on the property. This would be difficult given setback requirements from Lorenzetta Creek, limited access throughout the property for equipment, the location of the septic field and well, and future farming plan of the applicants.

Ministry of Transportation and Infrastructure

The subject property is accessed via Fancher Road. The Ministry of Transportation and Infrastructure (MOTI) stated that a 3.0-metre front lot line setback is acceptable given the low volume of traffic on Fancher Road and rationale of the applicants. MOTI confirmed that the 3.0-metre setback meets provincial legislation and does not require a highway setback permit (Appendix D: MOTI Referral).

Building Department

The FVRD Building Department has expressed no issue with the requested variance. A building permit application has not yet been received.

Neighbourhood Notification and Input

All property owners within 30 metres of the property will be notified by the FVRD of the variance application and be given the opportunity to provide written comments or attend the Board meeting to state their comments. FVRD staff encourage the applicants to advise neighbouring property owners and residents of the requested variance in advance of the mail-out notification.

To date one letter of support has been received. This individual owns property neighbouring the applicants north and east (58251 Laidlaw Road) (Appendix E: Letter of Support).

COST

The \$1,300.00 application fee has been paid by the applicants.

CONCLUSION

The requested variance is appropriate for constructing the proposed building given the rationale of septic separation, drainage, tree retention, access, and screening. The proposed building could not simply be located elsewhere on the property due to the septic field, well location, access, setback requirements from Lorenzetta Creek, and future farming plans of the applicants. MOTI has stated that the requested 3.0-metre setback from Fancher Road is acceptable and would meet provincial legislation. Staff recommend that the FVRD Board issue Development Variance Permit 2020-07 to reduce the front and side lot line setback.

Option 1 – Issue (Staff Recommendation)

Staff recommend that the Fraser Valley Regional District Board issue Development Variance Permit 2020-07 to reduce the front lot line setback from 25.0 feet (7.62 metres) to 9.84 feet (3.0 metres) clear-to-sky and side lot line setback from 25.0 feet (7.62 metres) to 8.0 feet (2.43 metres) clear-to-sky to facilitate construction of an agricultural machine shop and storage building at 58261 Fancher Road, Electoral Area B, subject to the consideration of any comments or concerns raised by the public.

Option 2 – Refuse

If the Board wishes to refuse the application, the following motion would be appropriate:

MOTION: THAT the Fraser Valley Regional District Board refuse Development Variance Permit 2020-07 for the property at 58261 Fancher Road, Electoral Area B.

Option 3 – Refer to Staff

If the Board wishes to refer the application back to staff to address outstanding issues identified by the Board, the following motion would be appropriate:

MOTION: THAT the Fraser Valley Regional District Board refer Development Variance Permit 2020-07 for the property at 58261 Fancher Road, Electoral Area B to FVRD staff.

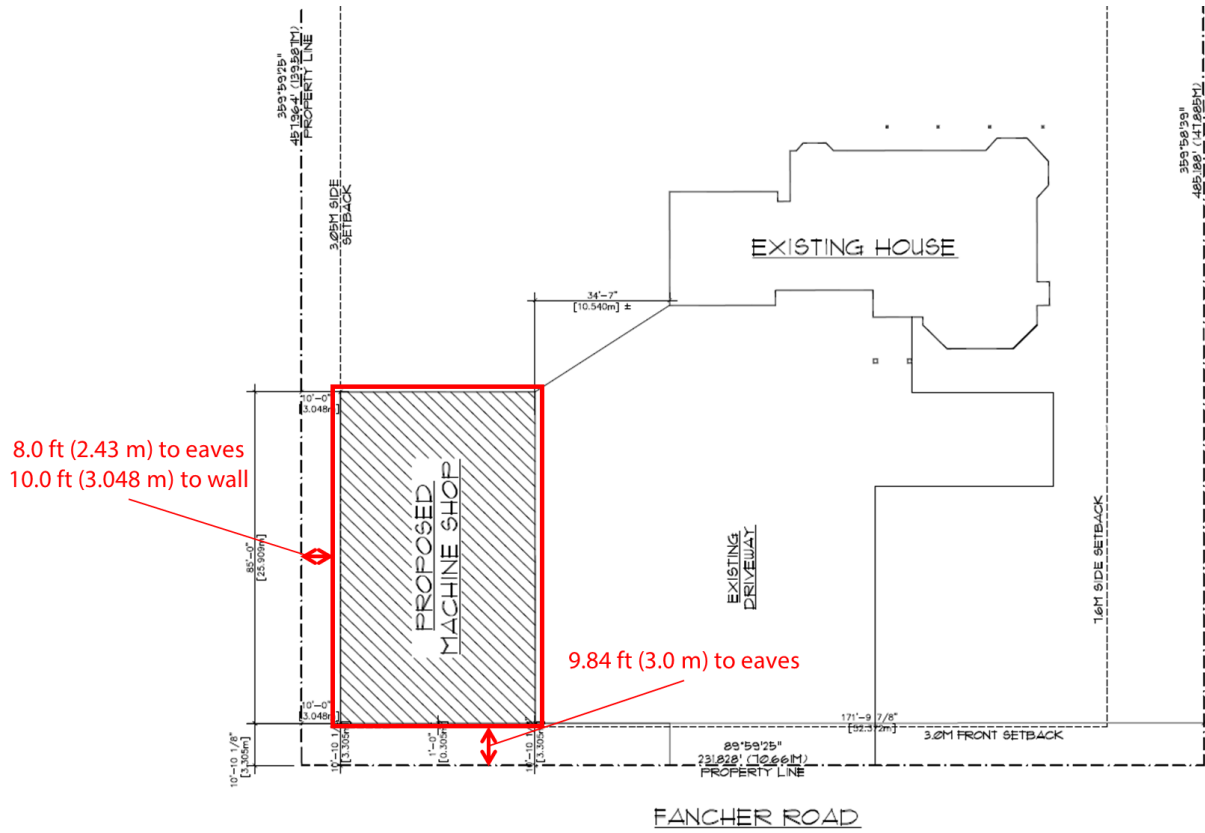
COMMENTS BY:

Graham Daneluz, Director of Planning & Development: Reviewed and supported.

Kelly Lownsbrough, CFO/ Director of Financial Services: Reviewed and supported.

Jennifer Kinneman, Chief Administrative Officer: Reviewed and supported.

APPENDIX A: SITE PLAN



APPENDIX B: CONFIRMATION OF USE



Fri 2020-06-12 11:19 AM

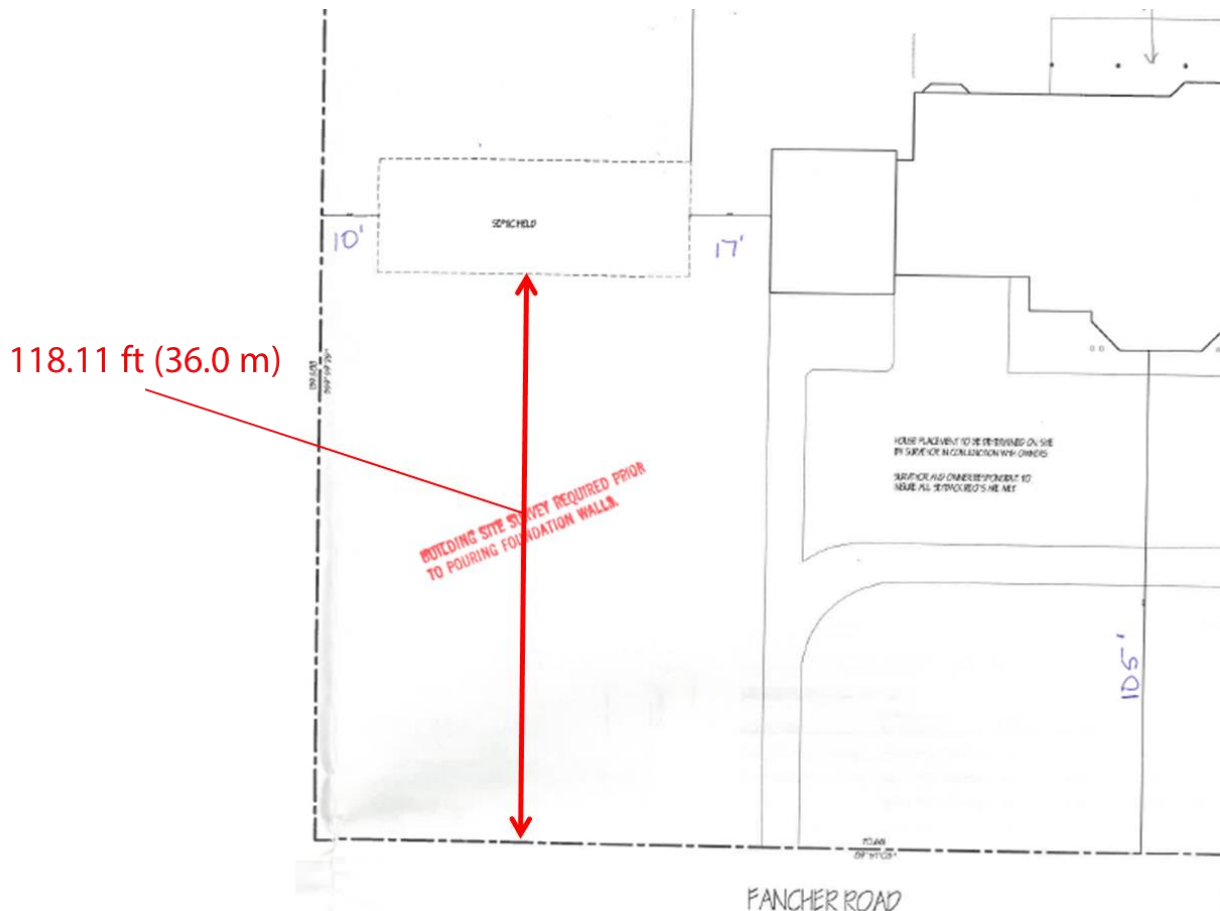
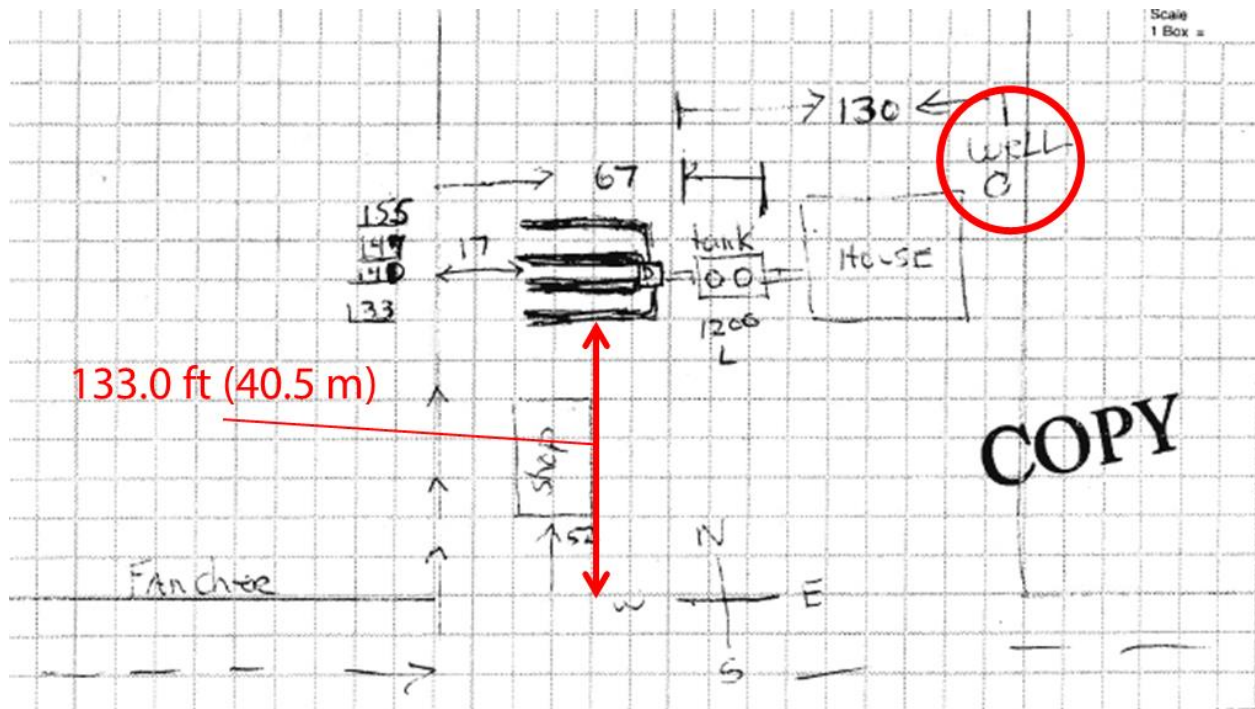
Darrin Williamson

RE: 58261 Fancher Rd Variance

To Gavin Luymes

Hi Yes the building is for storage of Farm equipment eg Tractors and attachments, as well as other farm equipment, horse trailers, hay and grain. There will be no live stock in building. Thanks

APPENDIX C: SEPTIC AND WELL LOCATION



APPENDIX D: MOTI REFERRAL



Mon 2020-06-15 9:32 AM

McGowan, Kevin TRAN:EX

RE: 58261 Fancher Road Highway Setback Variance

To Gavin Luymes

Hi Gavin –

Yes, as long as he meets the 3.0m he is meeting the prescribed legislation and will not require a permit.

Regards,

APPENDIX E: LETTER OF SUPPORT

From: John Klop

Sent: Thursday, June 18, 2020 10:13:10 PM

To:

Subject: Variance

To whom it may concern

This is regarding a variance to build shop,

This is John klop , a neighbor to Darrin and Sheri Williamson for the past 5 yrs or so , to my understanding they are looking for approval to build , on Fancher rd Hope BC v0x112 ,

We as neighbors have no concern in them doing this

John klop

SCHEDULE A-4

Permit Application

I / We hereby apply under Part 14 of the *Local Government Act* for a;

☒ Development Variance Permit

☐ Temporary Use Permit

☐ Development Permit

An Application Fee in the amount of \$ 1300 as stipulated in FVRD Application Fees Bylaw No. 1231, 2013 must be paid upon submission of this application.

Civic Address 58261 Fancher Rd PID 023-616-164

Legal Description Lot 5 Block _____ Section 19 Township 4 Range 27 Plan Lmp 30982

The property described above is the subject of this application and is referred to herein as the 'subject property.' This application is made with my full knowledge and consent. I declare that the information submitted in support of the application is true and correct in all respects.

Owner's
Declaration

Name of Owner (print)	Signature of Owner	Date
<u>Darrin Williamson</u>	<u>Darrin Williamson</u>	<u>2020/06/07</u>
Name of Owner (print)	Signature of Owner	Date

Owner's
Contact
Information

Address <u>58261 Fancher Rd</u>	City <u>Hope</u>
Email [REDACTED]	Postal Code <u>V0X 1L2</u>
Cell [REDACTED]	Fax

Office Use Only	Date	File No.
	Received By	Folio No.
	Receipt No.	Fees Paid: \$

Agent

I hereby give permission to _____ to act as my/our agent in all matters relating to this application.

Only complete this section if the applicant is NOT the owner.

Signature of Owner	Date
Signature of Owner	Date

Agent's contact information and declaration

Name of Agent		Company
Address		City
Email		Postal Code
Phone	Cell	Fax

I declare that the information submitted in support of this application is true and correct in all respects.

Signature of Agent	Date
--------------------	------

Development Details

Property Size 2.52 Acres Present Zoning AG-1

Existing Use Hobby Farm

Proposed Development I would like to build a 50x85 Machine Shop.

Proposed Variation / Supplement I am asking for a setback of 3ft from front of property line. The side of road is about 20ft to property line. Also 10ft from side of property.

(use separate sheet if necessary)

Reasons in Support of Application The reason I am asking for the 3ft from property line is my septic field is beside my house and the neighbors property so I can't come that far into property or I run into it. The reason I am asking for the 10ft from side of property line is because I need to put a drain pit in and would like to put in front of shop instead of behind close to the neighbours. I also would like to keep my tree I have but would have to remove without the variance because I wouldn't have the room to move the trucks and trailers 119 round.

**Riparian
Areas
Regulation**

Please indicate whether the development proposal involves residential, commercial, or including vegetation removal or alteration; soil disturbance; construction of buildings and structures; creation of impervious or semi-pervious surfaces; trails, roads, docks, wharves, bridges and, infrastructure and works of any kind – within:

yes
☐

no
☒

30 metres of the high water mark of any water body

yes
☐

no
☒

a ravine or within 30 metres of the top of a ravine bank

"Water body" includes; 1) a watercourse, whether it usually contains water or not; 2) a pond, lake, river, creek, or brook; 3) a ditch, spring, or wetland that is connected by surface flow to 1 or 2 above.

Under the *Riparian Areas Regulation* and the *Fish Protection Act*, a riparian area assessment report may be required before this application can be approved.

**Contaminated
Sites Profile**

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed "Site Profile" for properties that are or were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*. Please indicate if:

yes
☐

no
☒

the property has been used for commercial or industrial purposes.

If you responded 'yes,' you may be required to submit a Site Profile. Please contact FVRD Planning or the Ministry of Environment for further information.

**Archaeological
Resources**

Are there archaeological sites or resources on the subject property?

yes
☐

no
☒

I don't know
☐




If you responded 'yes' or 'I don't know' you may be advised to contact the Archaeology Branch of the Ministry of Tourism, Sport and the Arts for further information.

Required Information

When providing Application Forms to the applicant, Regional District staff shall indicate which of the following attachments are required for this application. **Additional information may also be required at a later date.**

	Required	Received	Details
Location Map			Showing the parcel (s) to which this application pertains and uses on adjacent parcels
Site Plan			Reduced sets of metric plans
At a scale of: 1: _____			North arrow and scale
			Dimensions of property lines, rights-of-ways, easements
			Location and dimensions of existing buildings & setbacks to lot lines, rights-of-ways, easements
			Location and dimensions of proposed buildings & setbacks to lot lines, rights-of-ways, easements
			Location of all water features, including streams, wetlands, ponds, ditches, lakes on or adjacent to the property
			Location of all existing & proposed water lines, wells, septic fields, sanitary sewer & storm drain, including sizes
			Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
			Natural & finished grades of site, at buildings & retaining walls
			Location of existing & proposed access, pathways
			Above ground services, equipment and exterior lighting details
			Location & dimensions of free-standing signs
			Storm water management infrastructure and impermeable surfaces
			Other:
Floor Plans			Uses of spaces & building dimensions
			Other:
Landscape Plan			Location, quantity, size & species of existing & proposed plants, trees & turf
			Contour information (_____ metre contour intervals)
			Major topographical features (water course, rocks, etc.)
			All screening, paving, retaining walls & other details
			Traffic circulation (pedestrian, automobile, etc.)
			Other:
Reports			Geotechnical Report
			Environmental Assessment
			Archaeological Assessment
			Other:

The personal information on this form is being collected in accordance with Section 26 of the *Freedom of Information and Protection of Privacy Act, RSBC 1996 Ch. 165* and the *Local Government Act, RSBC 2015 Ch. 1*. It will only be collected, used and disclosed for the purpose of administering matters with respect to planning, land use management and related services delivered, or proposed to be delivered, by the FVRD. Questions about the use of personal information and the protection of privacy may be directed to the FVRD Privacy Officer at 45950 Cheam Avenue, Chilliwack, BC V2P 1N6, Tel: 1-800-528-0061 FOI@fvrld.ca.

 Reply  Reply All  Forward




Sat 2020-06-20 9:28 AM

Darrin Williamson

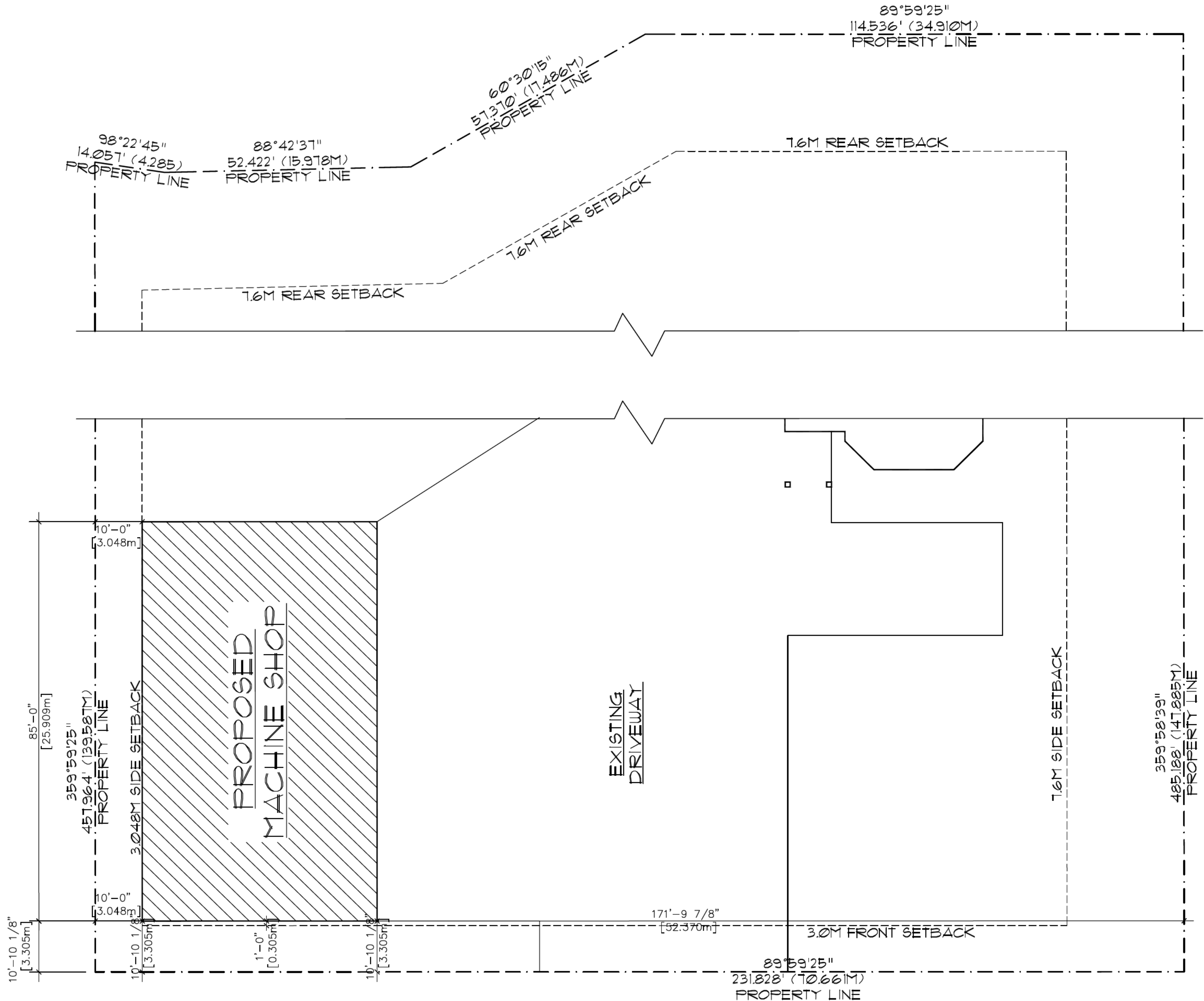
RE: New plans

To Gavin Luymes

 You replied to this message on 2020-06-22 8:36 AM.

[Bing Maps](#)

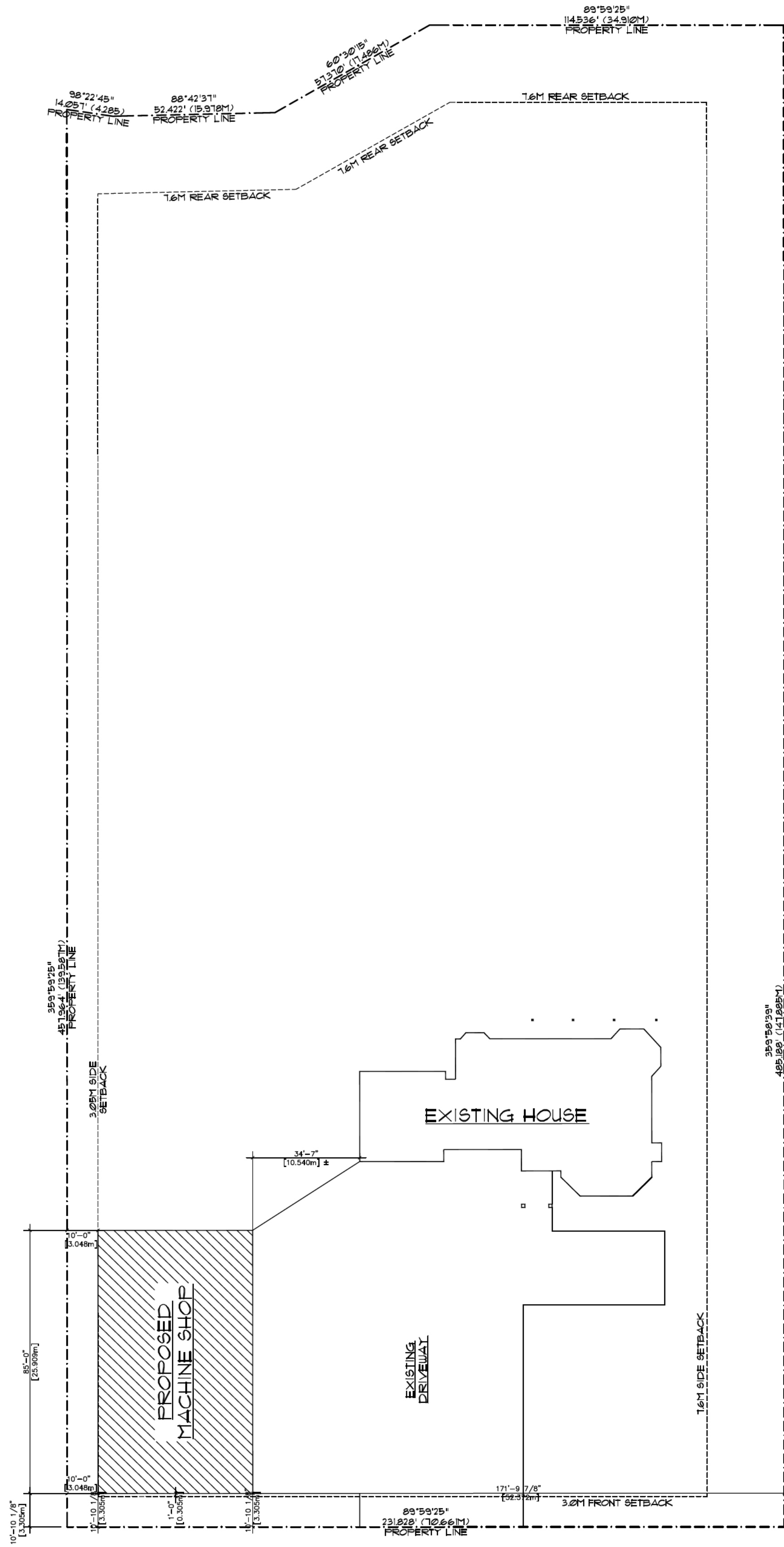
Yes could I ask for a 8ft setback off back of building. Would I have to redo the forum. Thank you



PARTIAL SITE PLAN
SCALE: 1/16" = 1'-0"

LOT 5 - 58261 FANCHER ROAD
-MACHINE SHOP-
ZONE= AG-1 LOT SIZE = 2.52 AC.
MAX. LOT COVERAGE = N/A
ACTUAL LOT COVERAGE = 394.83M2

LEGAL:
LOT 5, SECTION 19, TOWNSHIP 4, RANGE 27, MERIDIAN 6, NEW
WESTMINSTER DISTRICT, PLAN LMP30982 MERIDIAN W6.
PID: 023-616-164
FOLIO: 732.06218.800



KEY PLAN
SCALE: N.T.S.

18/06/2020 - SITE PLAN CHANGE
02/06/2020 - RE-ISSUED FOR PERMIT
10/09/2018 - ISSUED FOR PERMIT



SCALE: 1/16" = 1'-0"
DATE: 19/09/2018

CLIENT:
DARRIN WILLIAMSON

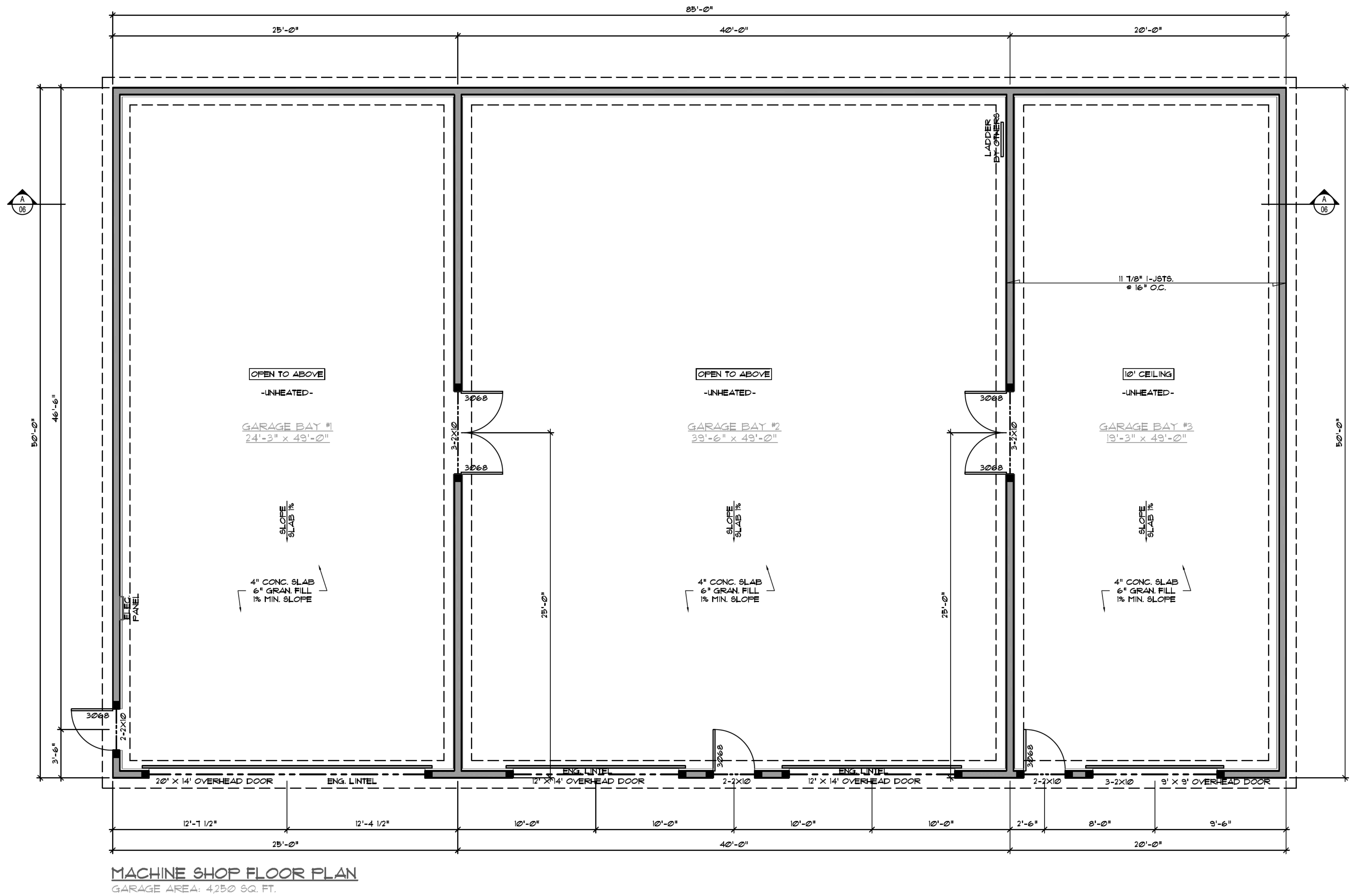
PROJECT TITLE:
PROPOSED MACHINE SHOP

LOT 5
58261 FANCHER ROAD
HOPE, B.C.

SHEET TITLE:
SITE PLAN

DRAWING No.:
01-07

PENETRATION (WINDOWS) AND DOORS TO HAVE AN OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GREATER THAN THE VALUES LISTED IN TABLE 9.56.7.1.A (ECBC LATEST REVISION) FOR THE APPLICABLE HEATING DEGREE-DAY CATEGORY. CLIMATE ZONE 4 & 5 MAXIMUM U-VALUE TO BE 1.80	
DOOR TO GARAGE	R50 U (R-6.25)
ACCESS HATCH	R50 U (R-14.8)
FRONT DOORS	U50 U (R-0.46)
GLASS BLOCK	U50 U (R-0.51)
GARAGE DOOR (WHEN GARAGE CONDITIONED)	R50 U (R-6.245)



02/06/2020 - RE-ISSUED FOR PERMIT
10/09/2018 - ISSUED FOR PERMIT



SCALE: 1/4" = 1'-0"
DATE: 19/09/2018

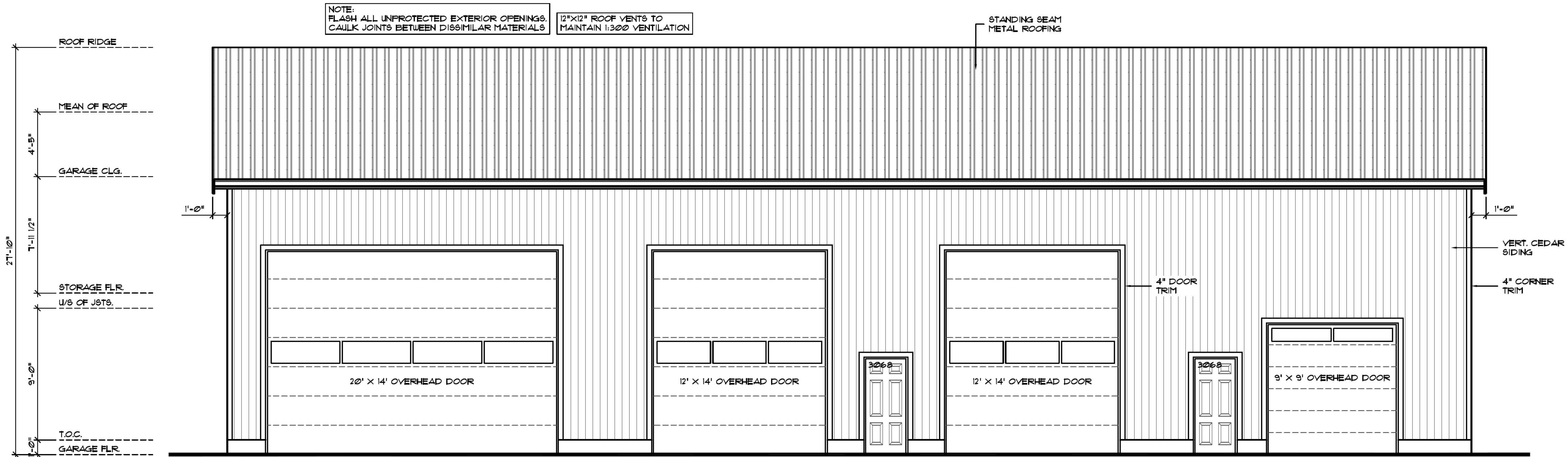
CLIENT:
DARRIN WILLIAMSON

PROJECT TITLE:
PROPOSED MACHINE SHOP

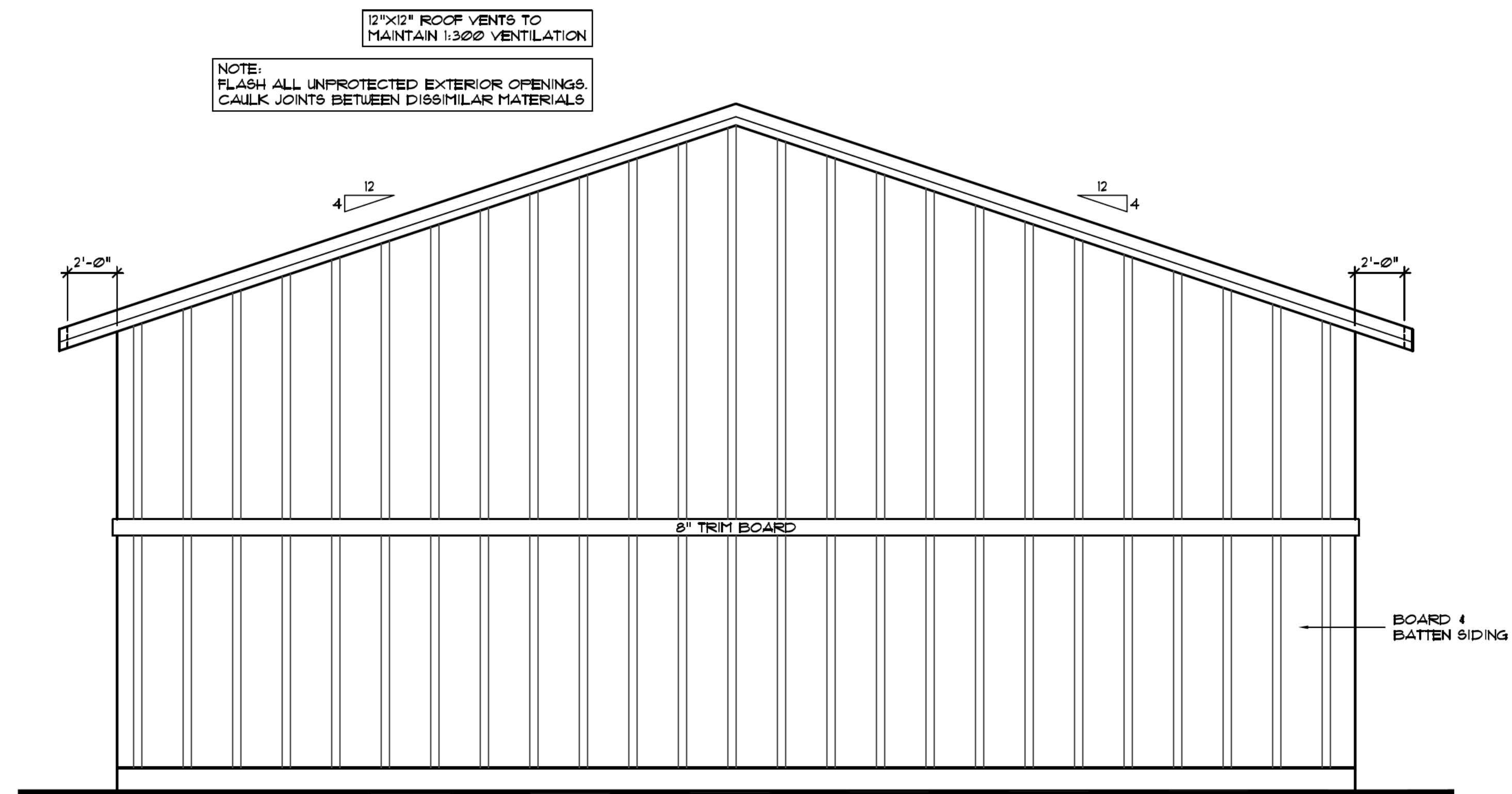
LOT 5
58261 FANCHER ROAD
HOPE, B.C.

SHEET TITLE:
MACHINE SHOP
FLOOR PLAN

DRAWING No.:
02-07



FRONT ELEVATION



RIGHT ELEVATION

UNPROTECTED OPENING CALCULATION
WALL AREA = 1193.28 SQ. FT. (109.91 SQ. M.)
LIMITING DISTANCE = 16.0M
MAXIMUM UNPROTECTED OPENINGS = 26.60% = 314.70 SQ. FT.
PROPOSED OPENINGS = 0.00 SQ. FT.

02/06/2020 - RE-ISSUED FOR PERMIT
10/09/2018 - ISSUED FOR PERMIT



SCALE: 1/4" = 1'-0"
DATE: 19/09/2018

CLIENT:
DARRIN WILLIAMSON

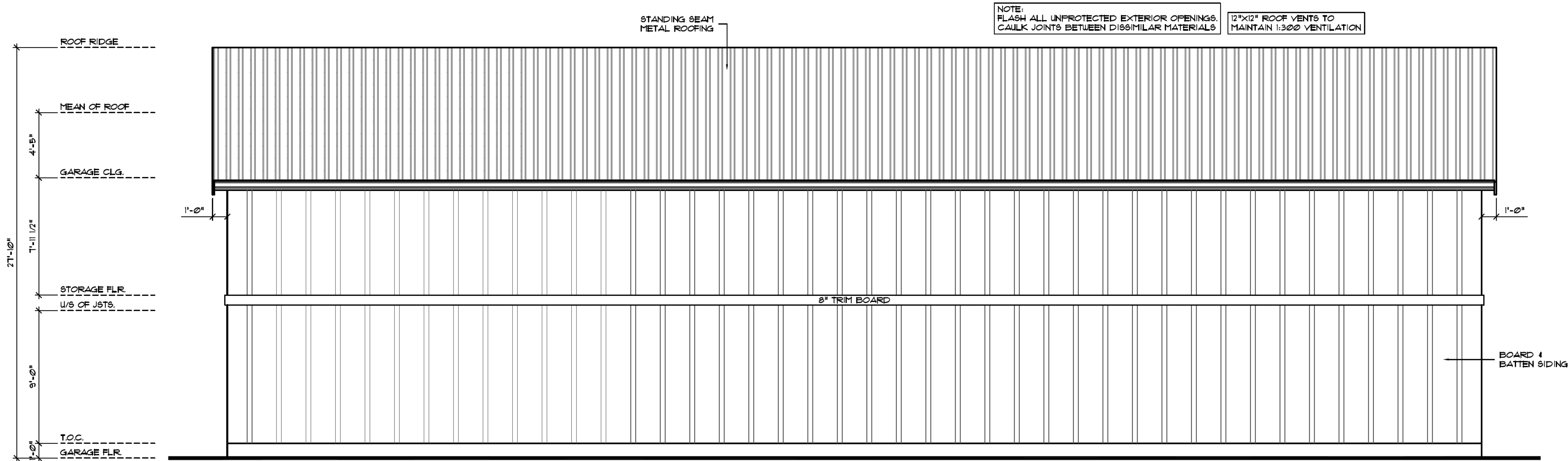
PROJECT TITLE:
PROPOSED MACHINE SHOP

LOT 5
58261 FANCHER ROAD
HOPE, B.C.

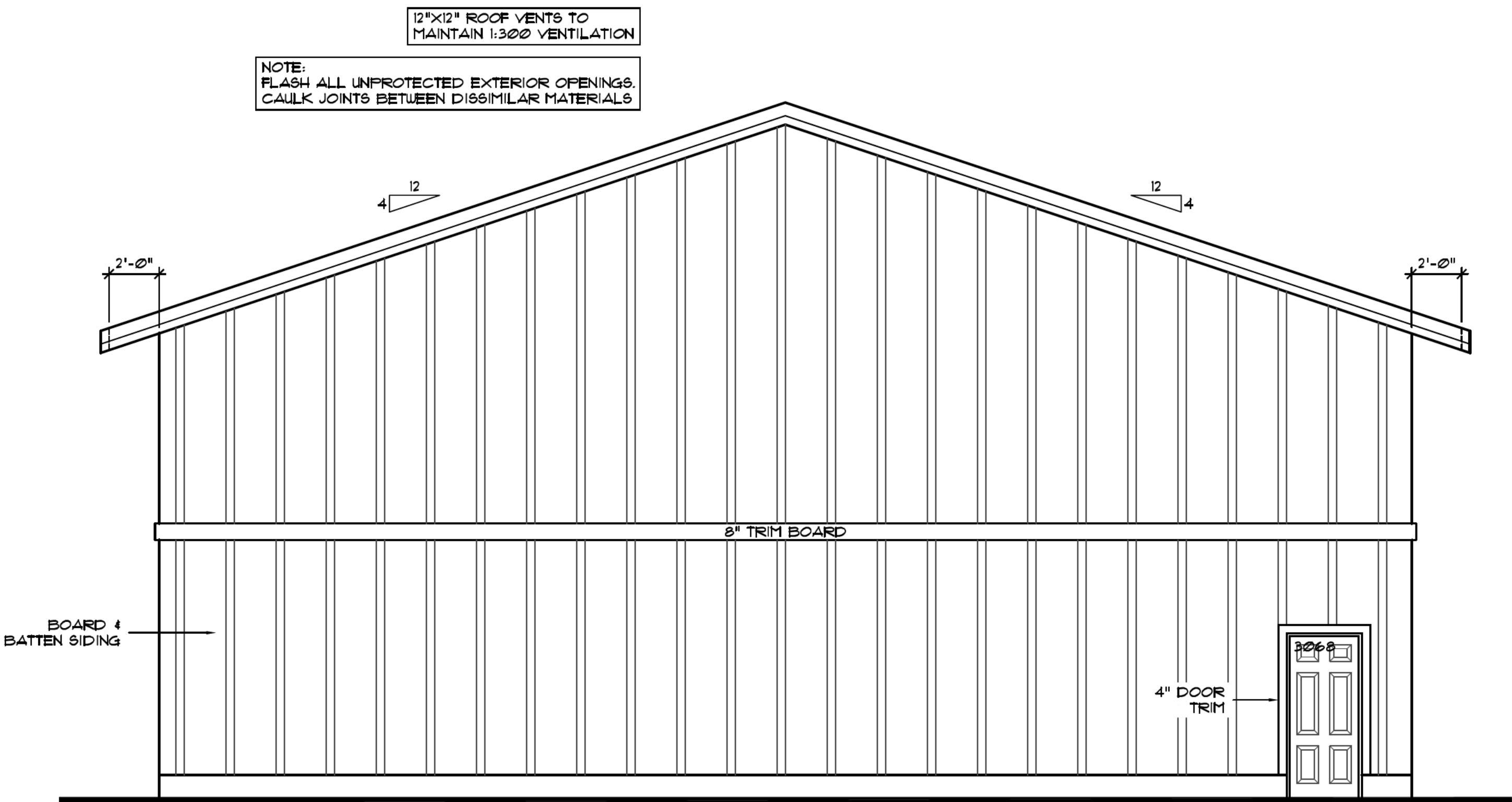
SHEET TITLE:
FRONT & RIGHT
ELEVATIONS

DRAWING No.:

04-07



REAR ELEVATION
UNPROTECTED OPENING CALCULATION
WALL AREA = 165.00 SQ. FT. (150.04 SQ. M.)
LIMITING DISTANCE = 1.60M
MAXIMUM UNPROTECTED OPENINGS = 26.60% = 42.953 SQ. FT.
PROPOSED OPENINGS = 0.0 SQ. FT.



LEFT ELEVATION

02/06/2020 - RE-ISSUED FOR PERMIT
10/09/2018 - ISSUED FOR PERMIT



SCALE: 1/4" = 1'-0"
DATE: 19/09/2018

CLIENT:
DARRIN WILLIAMSON

PROJECT TITLE:
PROPOSED MACHINE SHOP

LOT 5
58261 FANCHER ROAD
HOPE, B.C.

SHEET TITLE:
REAR & LEFT
ELEVATIONS

DRAWING No.:
05-07

- NOTES:
1. ALL CONSTRUCTION IS TO COMPLY WITH THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ALL OTHER LOCAL CODES, BYLAWS AND ORDINANCES.

2. TRUSS MANUFACTURER IS TO VERIFY ALL ROOF SLOPES AND TRUSS DESIGN AND PROVIDE LAYOUT, DESIGN AND DRAWINGS. TRUSSES ARE TO BE APPROVED BY AN ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA.

3. MECHANICAL LAYOUT, DRAWINGS, AND SPECIFICATIONS TO BE SUPPLIED BY OTHERS.

4. SEE SPEC'S FOR FLOOR FINISHES, KITCHEN CABINET DETAILS, BATHROOM VANITIES AND INTERIOR FINISHING DETAILS.

5. PROVIDE EXTERIOR FLASHING AROUND ALL EXTERIOR OPENINGS, AT CHANGES IN EXTERIOR MATERIALS, INTERSECTION BETWEEN WALL AND ROOF AND IN ROOF VALLEYS.

6. BUILDER TO ENSURE ROOF IS ADEQUATELY VENTED. ROOF VENTS SHALL HAVE AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. VENTS ARE TO BE EQUALLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING.

7. ALL LOAD BEARING LINTELS AND HEADERS ARE TO BE 2-2X10 #2 SPRUCE OR BETTER UNLESS NOTED OTHERWISE.

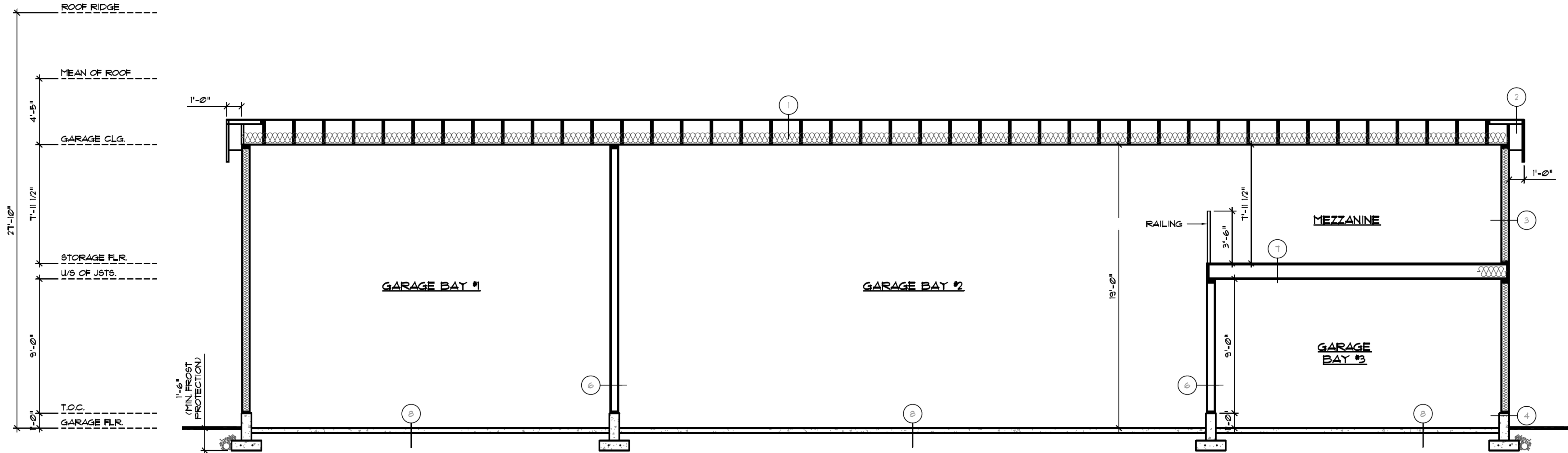
8. THE SIZE OF WOOD POSTS SUPPORTING BEAMS OF LINTELS SHALL BE EQUAL IN WIDTH TO THE WIDTH OF THE SUPPORTED MEMBER. I.E. 3-2X10 BEAM REQUIRES MINIMUM OF 3-2X4 POST

9. DOUBLE FRAME AROUND ALL OPENINGS IN FLOORS AND ROOF.

10. ALL BEAM ROCKETS TO COMPLY TO ENG. DUGS.

11. DESIGN AND DRAFTING BY AUSBRIDGE DESIGN WAIVES ALL RESPONSIBILITY OF ANY STRUCTURAL ENG.

25% OF VENT REQ. TO COME FROM BOTTOM PORTION OF ROOF



SECTION A

- 1

TYPICAL ROOF
STANDING SEAM METAL ROOFING
#5 FELT
1/2" OSB SHEATHING W/ H-CLIPS
PROVIDE EAVES PROTECTION TO CODE
PRE-FAB TRUSSES @ 24" O.C.
R-40 FIBERGLASS INSULATION
6 MIL POLY V.B.
GYPSUM WALL BOARD
- 2

TYPICAL OVERHANG
ALUMINUM FASCIA GUTTER
VINYL SOFFIT (VENTED)
- 3

TYPICAL EXTERIOR WALLS
FINISH AS SHOWN
BUILDING PAPER (TYP. 20" OVERLAP)
BUG SCREEN (TOP AND BOTTOM)
P.T. PLYWOOD FLOORING @ 16" O.C.
1/2" PLYWOOD OR OSB SHEATHING
2x6 STUDS @ 16" O.C.
R-20 MIN. FIBERGLASS INSULATION
6 MIL POLY V.B.
GYPSUM WALL BOARD
- 4

TYPICAL FOUNDATION WALL
ASPHALT EMULSION
8" CONCRETE FOUNDATION WALL
ENG. CONCRETE STRIP FOOTING
6" MIN DRAIN ROCK
4" PERIMETER DRAIN
- 5

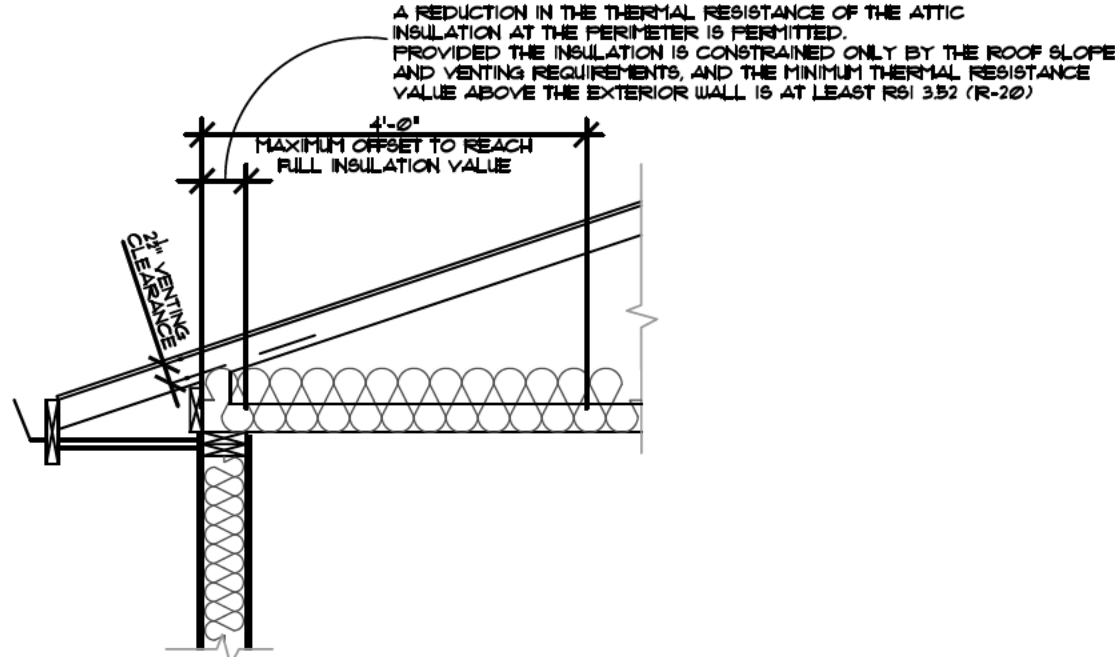
TYPICAL INTERIOR WALLS
GYPSUM WALL BOARD BOTH SIDES
2x6 STUDS @ 16" O.C.
- 6

TYPICAL BEARING WALL
2x6 STUDS @ 16" O.C.
8" ENG. CONCRETE FDN. WALL
ENG. CONCRETE STRIP FOOTING
- 7

TYPICAL UPPER FLOOR
FINISH FLOORING
5/8" T&G PLYWOOD SHEATHING
(GLUED & NAILED)
11 7/8" TJI FLR JOISTS AS SPEC'D BY MANUF.
- 8

TYPICAL GARAGE SLAB
4" CONCRETE SLAB
6" MIN COMPACT GRANULAR FILL
1 % MIN SLOPE TO ENTRY

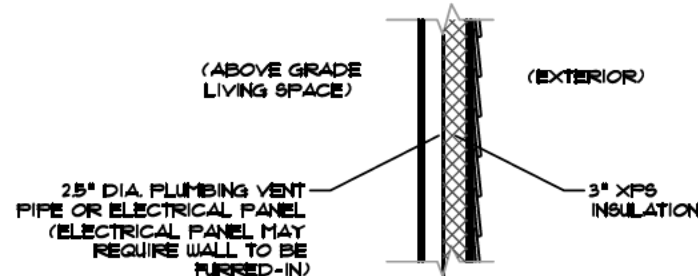
CEILING BELOW ATTICS		
DESCRIPTION	NOMINAL	EFFECTIVE
356MM (14") GLASS FIBRE LOOSE FILL INSULATION FOR ATTICS 2x4 BOTTOM CHORD @ 24" O/C	RSI 1.24 (R-40)	RSI 6.61 (R-315)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION: 1. EXTERIOR AIR FILM 2. POLYETHYLENE 3. 5/8" GYPSUM CEILING BOARD 4. INTERIOR AIR FILM	0.03 0.10 0.11	RSI 0.24 (R-136)
TOTAL EFFECTIVE INSULATION VALUE		RSI 6.31 (R-352)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR CEILINGS BELOW ATTICS		RSI 6.31 (R-352)



CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE CEILING BELOW ATTIC ASSEMBLY DETAIL

ABOVE GRADE WALL ASSEMBLY (HOLLOW BACKED VINYL SIDING)		
DESCRIPTION	NOMINAL	EFFECTIVE
3" XPS INSULATION IN 2X6 WOOD FRAMING @ 16" O/C	RSI 2.64 (R-15)	RSI 2.52 (R-143)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION: 1. EXTERIOR AIR FILM 2. VINYL CLADDING HOLLOW BACKED 3. SHEATHING MEMBRANE 4. 1/2" AIR SPACE FOR RAIN SCREEN 5. 2 1/2" AIR CAVITY 6. POLYETHYLENE 7. 1/2" GYPSUM WALL BOARD 8. INTERIOR AIR FILM	0.03 0.11 0.16 0.03 0.16 0.03 0.12	RSI 0.61 (R-346)
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.31 (R-176)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-158)

ABOVE GRADE WALL ASSEMBLY (6.35MM FIBRE-CEMENT BOARD SIDING)		
DESCRIPTION	NOMINAL	EFFECTIVE
3" XPS INSULATION IN 2X6 WOOD FRAMING @ 16" O/C	RSI 2.64 (R-15)	RSI 2.52 (R-143)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION: 1. EXTERIOR AIR FILM 2. 6.35MM FIBRE-CEMENT BOARD SIDING 3. 1/2" AIR SPACE FOR RAIN SCREEN 4. SHEATHING MEMBRANE 5. 1/2" PLYWOOD SHEATHING 6. 2 1/2" AIR CAVITY 7. POLYETHYLENE 8. 1/2" GYPSUM WALL BOARD 9. INTERIOR AIR FILM	0.03 0.03 0.16 0.11 0.16 0.03 0.12	RSI 0.683 (R-388)
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.203 (R-181)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-158)



CLIMATE ZONE 4 ENERGY EFFICIENCY PLUMBING VENT/ELECTRICAL PANEL WALL ASSEMBLY DETAIL

02/06/2020 - RE-ISSUED FOR PERMIT
10/09/2018 - ISSUED FOR PERMIT



SCALE: 1/4" = 1'-0"
DATE: 19/09/2018

CLIENT:
DARRIN WILLIAMSON

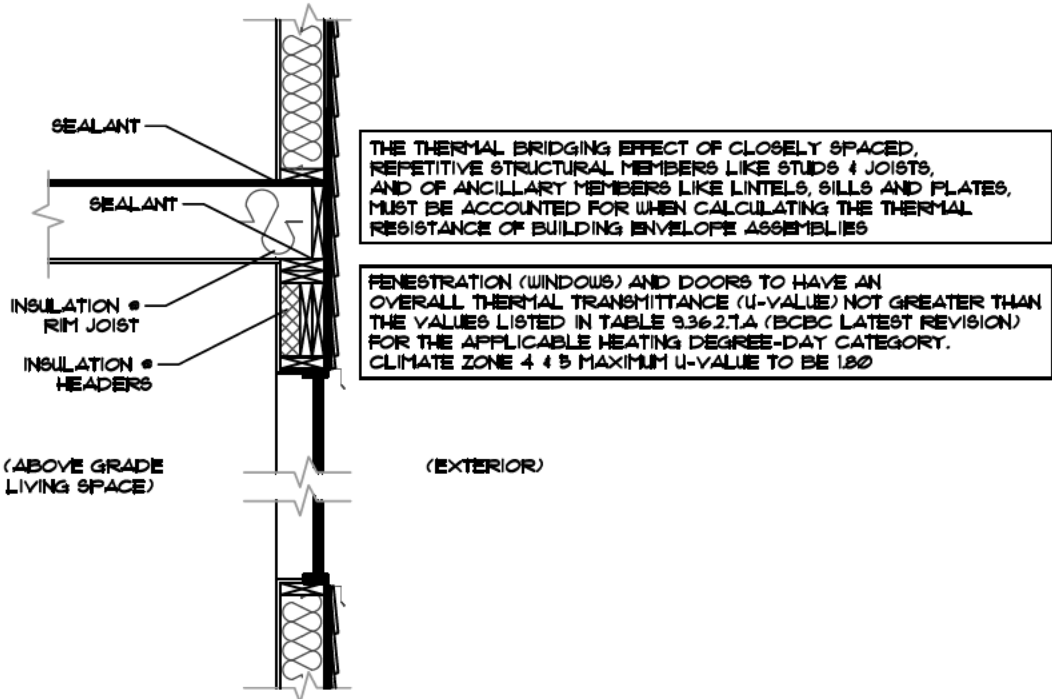
PROJECT TITLE:
PROPOSED MACHINE SHOP

LOT 5
58261 FANCHER ROAD
HOPE, B.C.

SHEET TITLE:
SECTION

DRAWING No.:
06-07

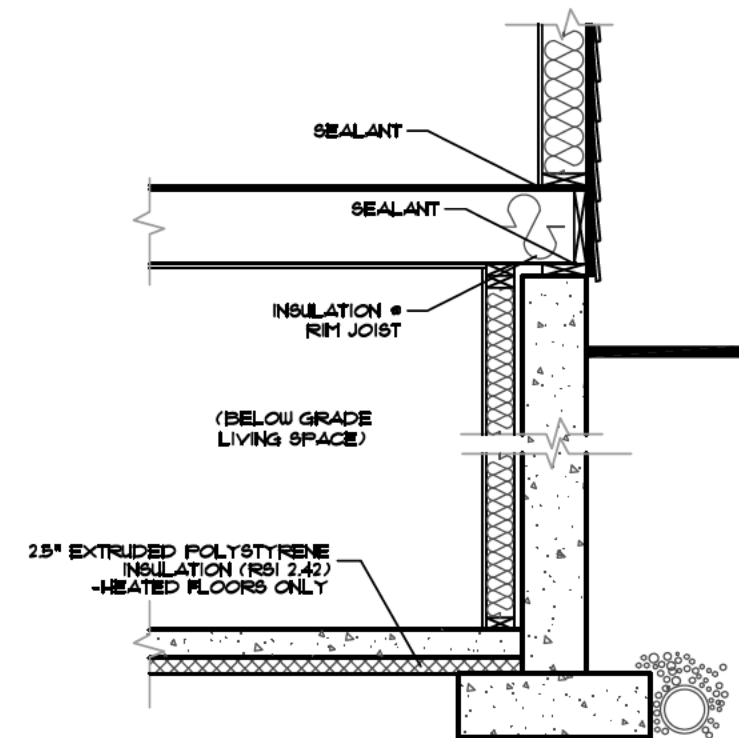
ABOVE GRADE WALL ASSEMBLY (6.35MM FIBRE-CEMENT BOARD SIDING)		
DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2X6 WOOD FRAMING @ 16" O/C	RSI 3.34 (R-19)	RSI 2.36 (R-13.4)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. 6.35MM FIBRE-CEMENT BOARD SIDING	0.023	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	0.1	
5. 1/2" PLYWOOD SHEATHING	0.08	
6. POLYETHYLENE	0.02	
7. 1/2" GYPSUM WALL BOARD	0.02	
8. INTERIOR AIR FILM	0.12	
		RSI 0.823 (R-2.97)
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.883 (R-16.37)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.18 (R-12.6)



CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE ABOVE GRADE WALL ASSEMBLY DETAIL

BELOW GRADE WALL ASSEMBLY		
DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDED-IN-PLACE CONCRETE WALL R-14 BATT INSULATION IN 2X4 WOOD FRAMING @ 24" O/C	RSI 2.46 (R-14)	RSI 1.91 (R-10.88)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. DAMPPROOFING	0.21	
2. 1" AIR SPACE	0.16	
3. POLYETHYLENE	-	
4. 1/2" GYPSUM WALL BOARD	0.08	
5. INTERIOR AIR FILM	0.12	
		RSI 0.87 (R-3.23)
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.48 (R-14.08)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 1.99 (R-11.3)

BELOW GRADE WALL ASSEMBLY		
DESCRIPTION	NOMINAL	EFFECTIVE
2" XPS INSULATION OVER 8" FOUNDED-IN-PLACE CONCRETE WALL	RSI 1.76 (R-10)	RSI 1.82 (R-10.3)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. DAMPPROOFING	0.21	
2. 1/2" GYPSUM WALL BOARD	0.08	
3. INTERIOR AIR FILM	0.12	
		RSI 0.41 (R-2.23)
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.23 (R-12.53)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 1.99 (R-11.3)



CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE BELOW GRADE WALL ASSEMBLY DETAIL

SPECIFIC REQUIREMENTS

- EFFECTIVE INSULATION OF CEILINGS, WALLS, AND FLOORS MEET THE REQUIREMENTS OF TABLE 9.36.2.6.A AND TABLE 9.36.2.6.B FOR THE CORRECT CLIMATE ZONE
- THE THERMAL CHARACTERISTICS OF WINDOWS, DOOR AND SKYLIGHTS MEET THE REQUIREMENTS OF TABLE 9.36.2.1.A, B AND C FOR CORRECT CLIMATE ZONE
- EFFECTIVE INSULATION OF FOUNDATIONS MEET THE REQUIREMENTS OF TABLE 9.36.2.8.A OR B FOR THE CORRECT CLIMATE ZONE
- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS
- DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED
- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED
- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE
- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT
- INDOOR POOLS ARE COVERED OR HAVE AN HRV/DEMAND FIER
- HVAC & SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.10 AND 9.36.4.2
- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS
- SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS
- THE AIR BARRIER DETAILS, AND LOCATIONS HAVE BEEN IDENTIFIED

TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6

- TEMPERATURE CONTROLS ARE GENERALLY REQUIRED FOR HEATING AND COOLING EQUIPMENT. THE ACCURACY OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5 DEGREES CELSIUS

ENERGY EFFECIENCY REQUIREMENTS

- THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR CLIMATE 4-LOWER MAINLAND AND SOUTHERN VANCOUVER ISLAND WITH NO HRV. (BCBC 2012 LATEST EDITION)

AS PER SECTION 9.36.2.10.-NOTES PERTAINING TO LEAKAGE PATHS IN PROBLEMATIC AREAS

FOUNDATION TO SILL PLATE AND RIM JOISTS

ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

INTERIOR WALL INTERFACE

INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL, OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL

RIM JOIST

ALL JOINTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

CANTILEVERED FLOOR

CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES /EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL

WINDOW HEAD

THE INTERFACE BETWEEN WINDOW HEAD/JAMB AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS

WINDOW SILL

THE INTERFACE BETWEEN WINDOW SILL AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS

MECHANICAL FLUES AND CHIMNEYS

STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH

PLUMBING STACKS

PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT STACK PIPE WITH A COMPATIBLE MATERIAL OR SHEATHING TAP, OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIR TIGHTNESS AND SEALING IT TO THE TOP FLAT

SKYLIGHTS

THE INTERFACE BETWEEN THE SKYLIGHT AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL THE JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT

WALL TO CEILING

ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

WALL VENTED DUCTS

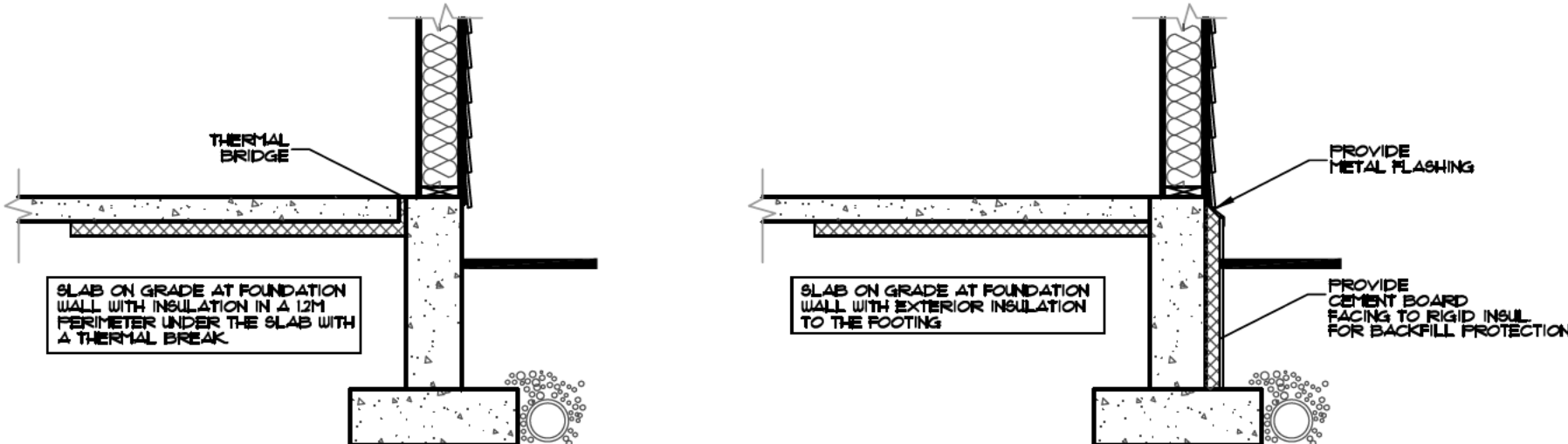
DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL

ELECTRICAL PENETRATION IN WALLS

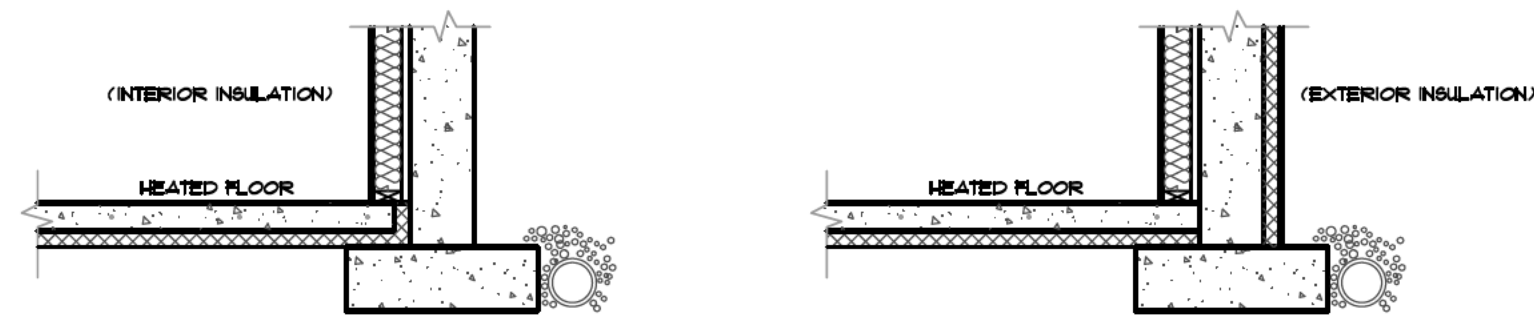
ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, WIRING, SWITCHES, AND RECESSED FIXTURES THROUGH THE PLANE OF AIR TIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE AIRTIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL, OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL

HYVAC PERFORMANCE REQUIREMENTS

EQUIPMENT TYPE	SIZE	PERFORMANCE REQUIREMENT
SPACE HEATING EQUIPMENT		
GAS FIRED FURNACE	LESS THAN 220,000 BTU/H (66 kW)	ANNUAL FUEL EFFICIENCY (AFUE) MUST BE GREATER OR EQUAL TO 92%
GAS FIRED BOILER	LESS THAN OR EQUAL TO 300,000 BTU/H (66 kW)	ANNUAL FUEL EFFICIENCY (AFUE) MUST BE GREATER OR EQUAL TO 90%
AIR COOLED UNITARY AIR CONDITIONER AND HEAT PUMP SPLIT SYSTEM	LESS THAN OR EQUAL TO 65,000 BTU/H (19 kW)	SEASONAL ENERGY EFFICIENCY RATING (SEER) OF AIR OR ENERGY EFFICIENCY RATING (EER) OF 11.5
GAS FIRED TANKLESS	LESS THAN 220,000 BTU/H (66 kW)	ENERGY FACTOR (EF) MUST BE GREATER THAN OR EQUAL TO 0.8
SERVICE WATER HEATING EQUIPMENT		
ELECTRIC STORAGE	13-71 GAL (50 TO 270L)	STANDBY LOSS LESS THAN OR EQUAL TO: 25+ @20V (TOP INLET) 40+ @20V (BOTTOM INLET) WHERE V=THE TANK VOLUME (IN LITRES)
GAS FIRED STORAGE	LESS THAN 75,000 BTU/H (22 kW)	ENERGY FACTOR (EF) MUST BE GREATER THAN OR EQUAL TO 0.61-0.689V WHERE V=THE TANK VOLUME (IN LITRES)
GAS FIRED TANKLESS	LESS THAN OR EQUAL TO 25,000 BTU/H (73 kW)	ENERGY FACTOR MUST BE GREATER THAN OR EQUAL TO 0.8



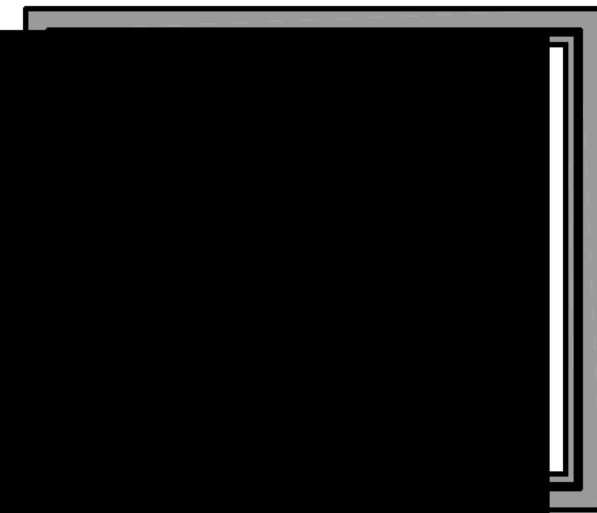
INSULATION OF UNHEATED AND HEATED SLABS ABOVE THE FROST LINE



INSULATION PLACEMENT FOR HEATED SLABS (EXTERIOR) BELOW FROST LINE

BELOW GRADE HEATED FLOOR		
DESCRIPTION	NOMINAL	EFFECTIVE
3.5" FOUNDED-IN-PLACE CONCRETE SLAB 2.5" EXTRUDED POLYSTYRENE INSULATION	RSI 2.36 (R-13.4)	RSI 2.42 (R-13.74)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.16	
2. 3.5" CONCRETE SLAB	-	
		RSI 0.16 (R-0.92)
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.98 (R-16.64)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE HEATED FLOORS		RSI 2.32 (R-13.2)

02/06/2020 – RE-ISSUED FOR PERMIT
10/09/2018 – ISSUED FOR PERMIT



SCALE: 1/4" = 1'-0"
DATE: 19/09/2018

CLIENT:

DARRIN WILLIAMSON

PROJECT TITLE:

PROPOSED MACHINE SHOP

LOT 5
58261 FANCHER ROAD
HOPE, B.C.

SHEET TITLE:

GENERAL NOTES /
DETAILS

DRAWING No.:

07-07



FRASER VALLEY REGIONAL DISTRICT DEVELOPMENT VARIANCE PERMIT

Permit No. Development Variance Permit 2020-07 **Folio No.** 732.06218.800

Issued to: Darrin & Sheri Williamson

Address: 58261 Fancher Road

Applicant: Darrin Williamson

Site Address: 58261 Fancher Road, Electoral Area B

The lands affected by and subject to this permit are shown on Schedule "A", Location Map, attached hereto, which forms an integral part of this permit, and are legally described as:

LOT 5 SECTION 19 TOWNSHIP 4 RANGE 27 WEST OF THE SIXTH MERIDIAN
NEW WESTMINSTER DISTRICT PLAN LMP30982
PID: 023-616-164

LIST OF ATTACHMENTS

Schedule "A": Location Map

Schedule "B": Site Plan

AUTHORITY TO ISSUE

1. This Development Variance Permit is issued under Part 14 - Division 9 of the *Local Government Act*.

BYLAWS SUPPLEMENTED OR VARIED

Zoning Bylaw for Electoral Area 'C', 1977 of the Regional District of Fraser-Cheam is **varied** as follows:

Division Four, Section 403 Setbacks

- (a) Highway: is varied by reducing the setback from 25.0 feet (7.62 metres) clear-to-sky from the right-of-way boundary to 9.84 feet (3.0 metres) clear-to-sky from the right-of-way boundary for the construction of an agricultural machine shop/agricultural storage building.
 - (b) Side: is varied by reducing the setback from 25.0 feet (7.62 metres) clear-to-sky from the side lot line to 8.0 feet (2.43 metres) clear-to-sky from the side lot line for the construction of an agricultural machine shop/agricultural storage building.
-

SPECIAL TERMS AND CONDITIONS

- 1. No variances other than those specifically set out in this permit are implied or to be construed.

2. If the holder of this permit does not commence the construction with respect to which the Permit was issued within two (2) years after the date of the permit, this permit shall lapse.
3. Development of the site shall be undertaken in accordance with the Site Plan attached hereto as Schedule "B".

GENERAL TERMS AND CONDITIONS

1. This Development Variance Permit is issued Pursuant to Part 14 - Division 9 of the *Local Government Act*.
2. This Development Variance Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under Section 524 of the *Local Government Act*.
3. Nothing in this permit shall in any way relieve the developer's obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.
4. Nothing in this permit shall in any way relieve the developer's obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Public Health Act*, the *Fire Services Act*, the *Safety Standards Act*, and any other provincial statutes.
5. The Archaeology Branch of the Province of British Columbia must be contacted (phone 250-953-3334) if archaeological material is encountered on the subject property. Archaeological material may be indicated by dark-stained soils containing conspicuous amounts of fire-stained or fire-broken rock, artefacts such as arrowheads and other stone tools, or human remains. If such material is encountered during demolition or construction, a Heritage Conservation Act Permit may be needed before further development is undertaken. This may involve the need to hire a qualified Archaeologist to monitor the work.

SECURITY DEPOSIT

As a condition of the issuance of this Permit, and pursuant to Section 502 of the *Local Government Act*, the Regional Board is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit

Should the holder of this permit:

- a. fail to complete the works required to satisfy the landscaping conditions contained herein,
- b. contravene a condition of the permit in such a way as to create an unsafe condition,

The Regional Board may undertake and complete the works required to satisfy the landscaping conditions, or carry out any construction required to correct an unsafe condition at the cost of the holder of the permit and may apply the security in payment of the costs of the works, with any excess to be returned to the holder of the permit.

Security Posted: (a) an irrevocable letter of credit in the amount of: \$ <N/A>.
 (b) the deposit of the following specified security: \$ <N/A>.

Note: The Regional District shall file a notice of this permit in the Land Title Office stating that the land described in the notice is subject to Development Variance Permit Number 2020-07. The notice shall take the form of Appendix I attached hereto.

AUTHORIZING RESOLUTION PASSED BY THE BOARD OF DIRECTORS OF THE FRASER VALLEY REGIONAL DISTRICT ON THE 28th DAY OF JULY, 2020.

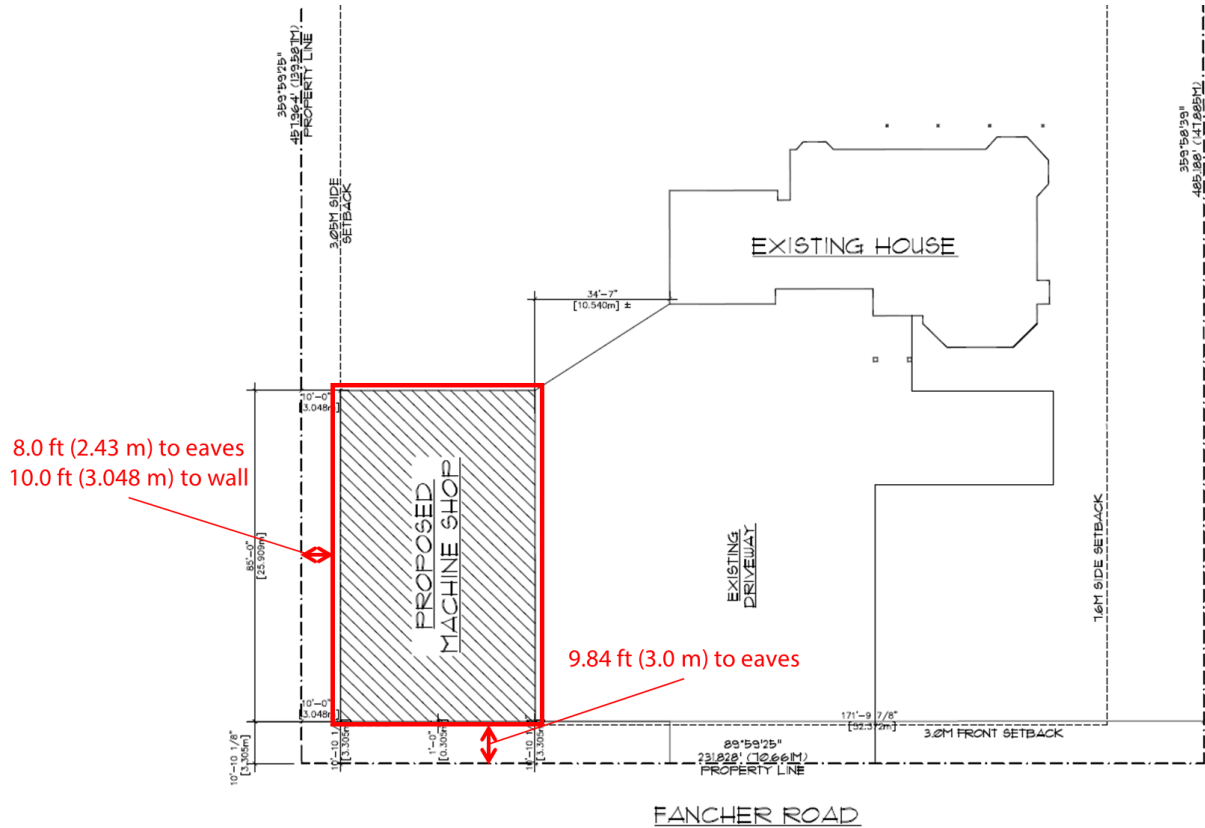
Chief Administrative Officer / Deputy

THIS IS NOT A BUILDING PERMIT

DEVELOPMENT VARIANCE PERMIT 2020-07
SCHEDULE "A"
Location Map



DEVELOPMENT VARIANCE PERMIT 2020-07
SCHEDULE "B"
Site Plan



To: Electoral Area Services Committee

Date: 2020-07-14

From: Andrea Antifaeff, Planner 1

Subject: Rogers Communications Tower Proposal for 52018 Yale Road, Electoral Area D

RECOMMENDATION

THAT the Fraser Valley Regional District Board respond to the referral from Rogers Communications for the installation of a new communications tower at 52018 Yale Road, Electoral Area D with the following comments:

1. The scope of the proposed public consultation is satisfactory to the Fraser Valley Regional District provided consultation with Cheam First Nation is undertaken.
2. Rogers Communications will provide documentation confirming that consultation is complete.
3. The proposed communications tower would be in the Agricultural Land Reserve and it requires the approval of the Agricultural Land Commission.
4. Rogers Communications will obtain a building permit prior to construction.
5. Rogers Communications will provide information to the FVRD on the potential for other telecommunication companies to co-locate on the proposed tower.

STRATEGIC AREA(S) OF FOCUS

Support Healthy & Sustainable Community

Foster a Strong & Diverse Economy

Provide Responsive & Effective Public Services

BACKGROUND

Proposal Description

Rogers Communications is proposing to construct a 50-metre tall telecommunications tower at 52018 Yale Road. The purpose of the tower is to improve network service in the Rosedale/Popkum area.

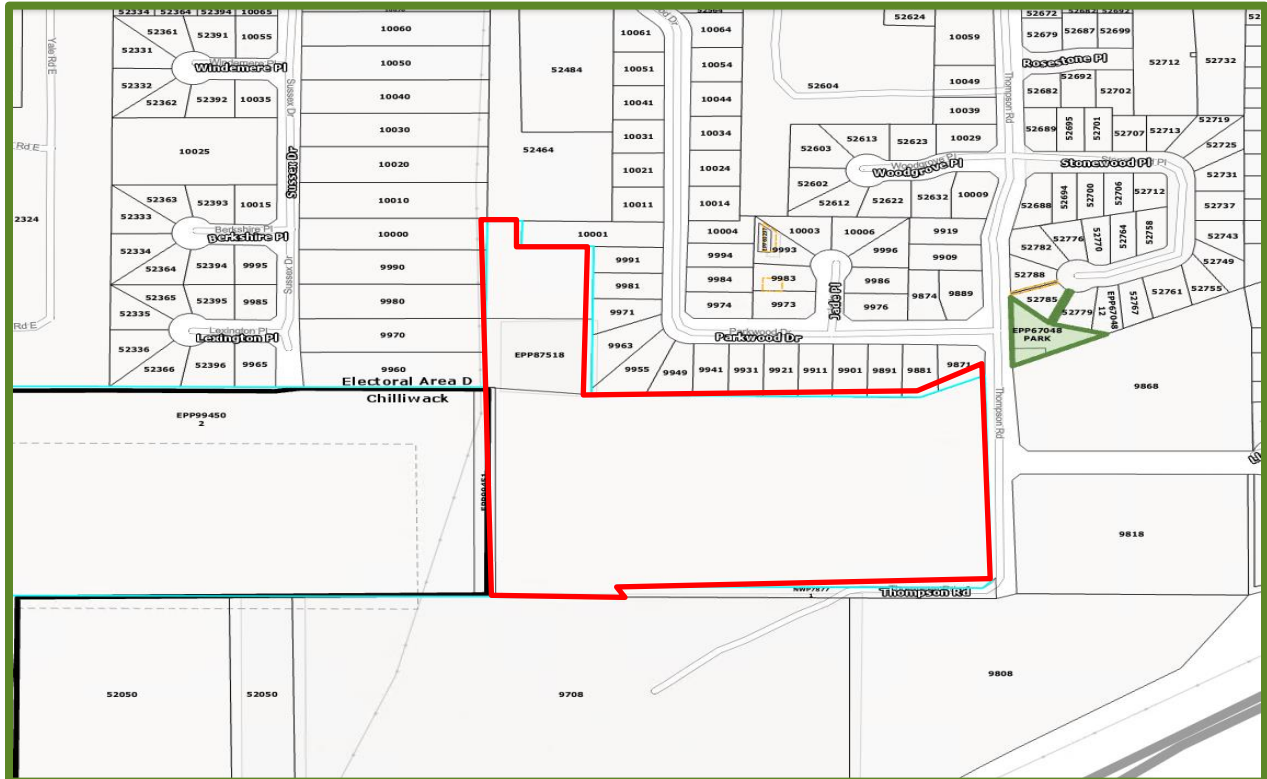
PROPERTY DETAILS	
Electoral Area	D
Address	52018 Yale Road
PID	031-050-255
Folio	733.06652.018
Lot Size	19 acres

Owner	John & Erica Rimschneider	Agent	Cypress Land Services – Tawny Verigin
Current Zoning	Rural (R)	Proposed Zoning	No change
Current OCP	Suburban Residential (SR)/Agricultural Large Holding (AG-L)	Proposed OCP	No change
Current Use	Vacant Land	Proposed Use	Telecommunications Facility
Development Permit Areas	4-D Agricultural Protection; 6-D Riparian Areas		
Agricultural Land Reserve	Yes		

ADJACENT ZONING & LAND USES

North	^	Suburban Residential 2 (SBR-2); Single Family Residential
East	>	Country Residential (CR)/Rural 2 (R-2); Single Family Residential/ Agricultural
West	<	City of Chilliwack Boundary/Single Family Residential
South	v	Rural (R); BC Hydro Lands

NEIGHBOURHOOD MAP



PROPERTY MAP



DISCUSSION

Innovation, Science and Economic Development Canada (Federal Government), formerly Industry Canada, requires Rogers Communications to consult with local governments and to obtain a response to the proposal.

Proposal

Rogers Communications has identified 52018 Yale Road as the potential location for the installation of a 50-metre self-support tower with nine panel antennas, one microwave dish and an equipment compound occupying an area of 100 square metres. The site is within a privately owned 19-acre vacant piece of land. Rogers Communications has entered into a long-term agreement with the property owner respecting the installation.

The telecommunications facility is proposed to be situated on the southern border of the property outside of existing BC Hydro and Gas right of ways. This area of the property has a grouping of mature trees, and the tower is proposed to be located within the trees to reduce visual impacts. The site location is outside of the 7.6 metre covenanted no-build area on the property and is located within the Agricultural Land Reserve.

Rogers Communications investigated the area for co-location options on nearby tower sites, buildings and other structures. Unfortunately, there was no nearby existing infrastructure in the vicinity of the

proposed tower to co-locate antennas on. The proposed tower has sufficient space and loading capacity for additional antennas should another carrier wish to apply to install equipment to support their network requirements at this location. Rogers Communications has sent invitations to co-locate to Telus and Freedom Mobile; their responses are pending.

Public Consultation Process

Rogers Communications will be conducting a mail-out to provide notification of the proposal to property owners within a 150-metre radius of the proposed tower (three times the height of the tower). Cheam First Nation is on the boundary of the 150-metre radius, and staff recommend that Rogers Communications also consult with Cheam First Nation in regards to the proposal. In addition, there are 91 privately owned properties within the notification area. The mail-out is anticipated to occur in early July 2020, with the comment period open for 30 days. Further, a newspaper ad will be placed in the local paper (Chilliwack Progress) to invite public comment.

While the FVRD does not have a formal telecommunications tower policy for private properties, it has historically requested telecommunication companies to notify private properties within three times the tower height in keeping with federal standards.

Zoning

The subject property is zoned Rural per *Zoning Bylaw for Electoral Area D, 1976 of the Regional District of Fraser-Cheam*. A telecommunications facility (public utility use) is permitted in all zones.

Draft Official Community Plan for Area D

Improvements to the cellular coverage range and provider choices were concerns identified by residents during community consultation for the Area D Official Community Plan. The draft Official Community Plan for Electoral Area D includes the following policies regarding utilities and communication services:

- The FVRD Board will support improvements to existing cellular coverage and opportunities for expansion of high-speed internet services for residents;
- Utilities and cellular tower infrastructure shall be designed and situated in a location which reduces visual impacts on neighbouring businesses and residents;
- Cellular towers and telecommunication facilities should provide future co-location and expansion opportunities in order to reduce the overall number of towers in the community; and,
- New utility and cellular developments should undertake community engagement early in the project to obtain and address community input.

The above policies have been sent to Cypress Land Services, agent for Rogers Communications. The proposal generally satisfied these policies.

Building Permit

The installation of the proposed tower and surrounding compound will require a building permit before construction is started.

Agricultural Land Commission

The proposed tower is in the Agricultural Land Reserve and will require a non-farm use application and approval from the Agricultural Land Commission.

COST

There is no fee or cost recovery on telecommunication tower referrals.

CONCLUSION

Rogers Communications has provided a satisfactory public consultation process. FVRD recommends support of the proposal subject to a positive outcome from the consultation, non-farm use approval from the Agricultural Land Commission and subject to provision of satisfactory information on co-location potential.

COMMENTS BY:

Graham Daneluz, Director of Planning & Development:

Reviewed and supported.

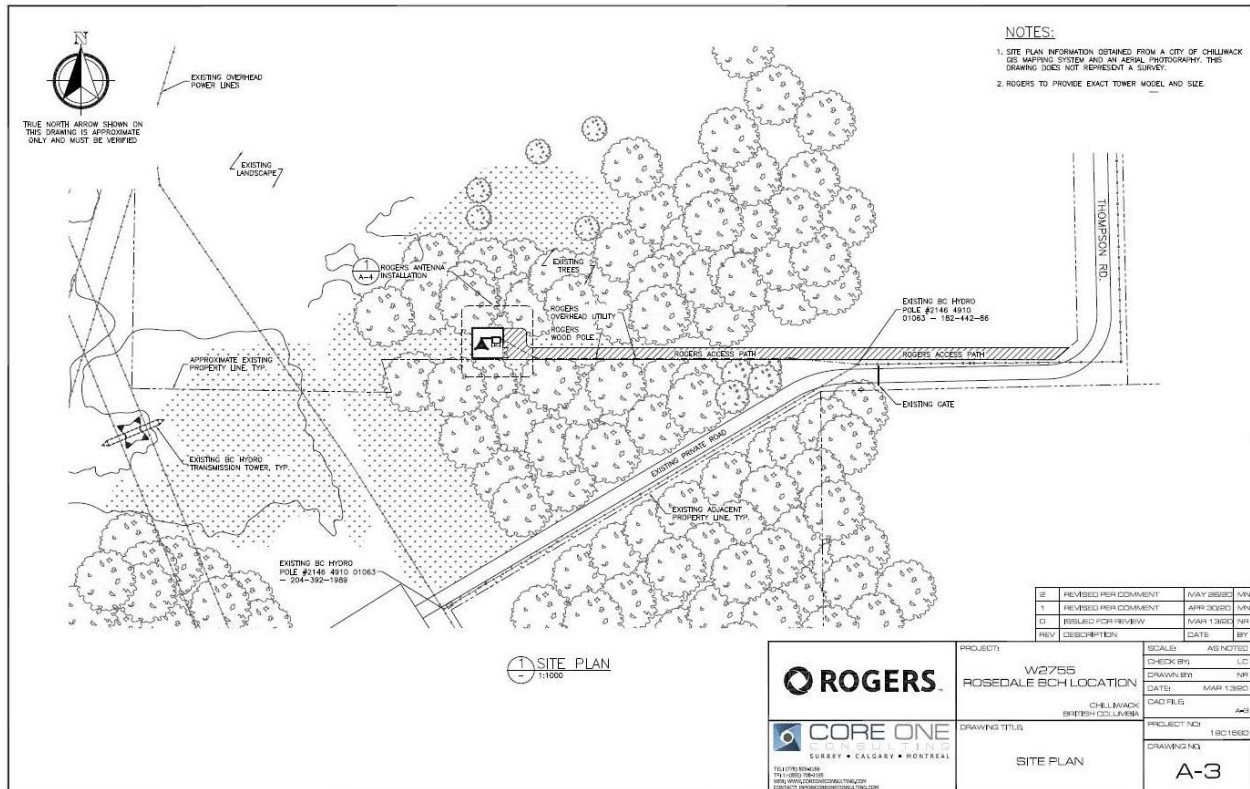
Kelly Lownsborough, Chief Financial Officer/ Director of Financial Services:

Reviewed and supported.

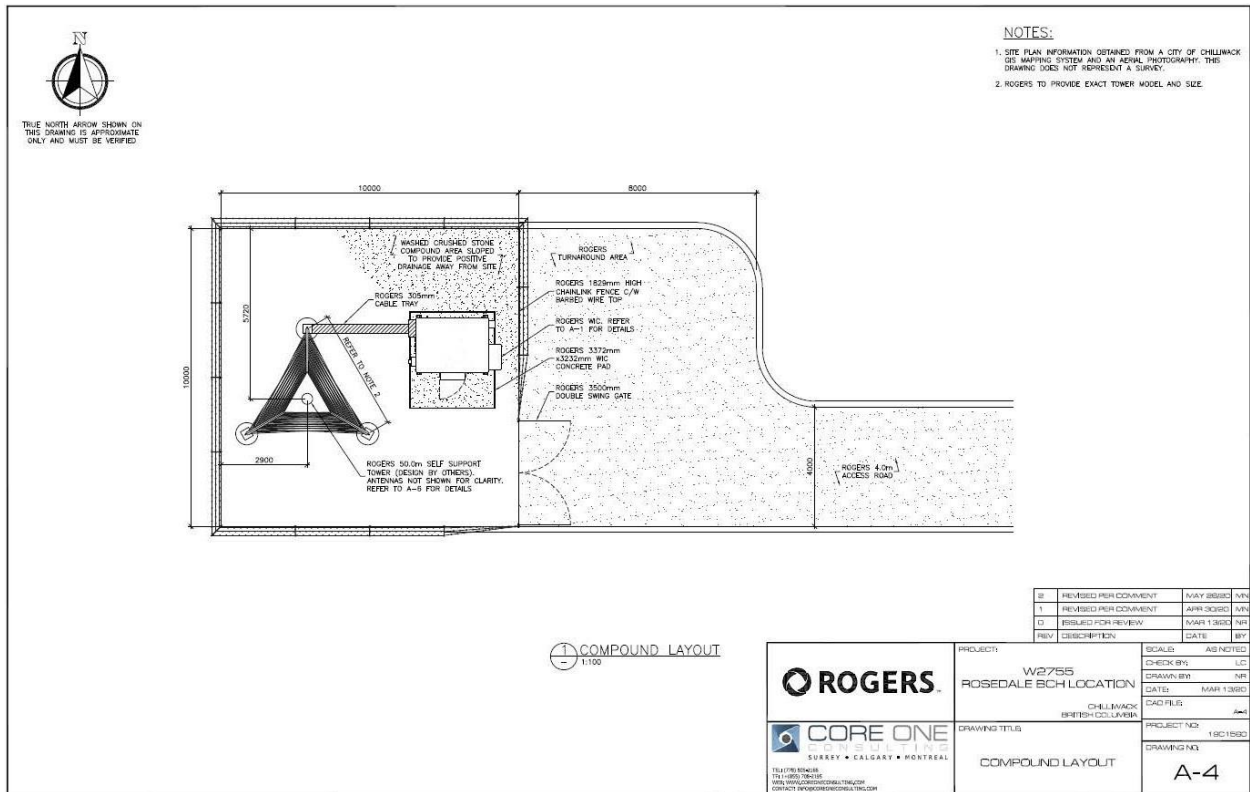
Jennifer Kinneman, Chief Administrative Officer:

Reviewed and supported.

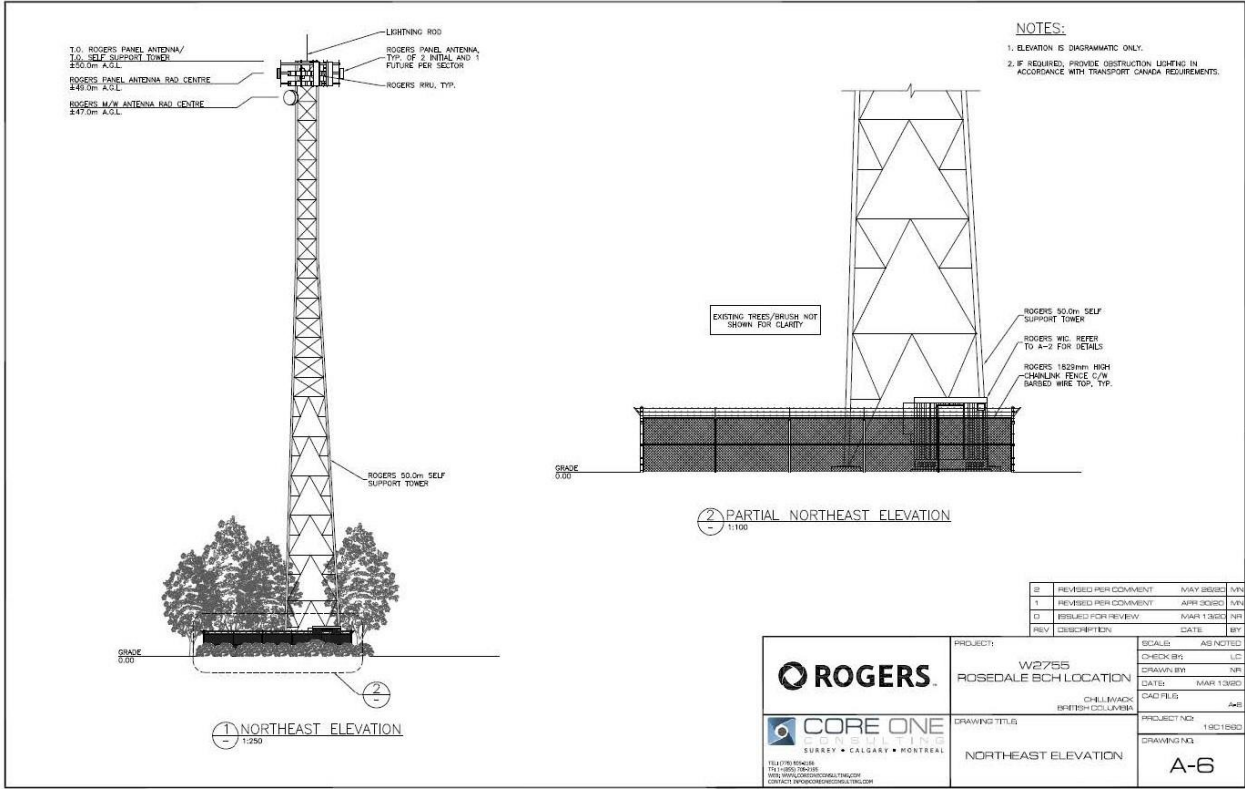
Appendix A Preliminary Site Plan



Appendix B Preliminary Compound Plan



Appendix C Preliminary Tower Profile





Cypress Land Services

Suite 1051 – 409 Granville Street

Vancouver, BC V6C 1T2

Telephone: 604.620.0877

Facsimile: 604.620.0876

Website : www.cypresslandservices.com

June 23, 2020

Via Email: aantifaeff@fvrd.ca

Fraser Valley Regional District (FVRD)
Andrea Antifaeff
Planner
45950 Cheam Avenue
Chilliwack, BC V2P 1N6

Dear Ms. Antifaeff:

Subject:	Rogers Telecommunications Facility Proposal Information Package
Address:	52018 YALE RD ROSEDALE BC V0X 1X0
Legal:	PID: 031-050-255
Coordinates:	N 49.178795°, W 121.775073°
Rogers Site:	W2755 - Rosedale

Overview

Cypress Land Services, in our capacity as agent to Rogers, is submitting this information package to formalize the consultation process related to the installation and operation of a telecommunications facility. Rogers is seeking to improve service in the Rosedale area. In order to provide improved, dependable wireless services a new facility is required. This information package is intended to formalize the consultation process.

Proposed Site

The property is comprised of a privately owned piece of land of approx. 18.5 acres. The Telecommunications Facility is proposed to be situated on the Southern border of the property of which the eastern three quarters is free of Hydro and Gas Right of Ways. This area of the property has a grouping of mature trees and it is proposed to situate the tower within the trees.

The proposed installation consists of a 50.0 metre self-support structure with nine (9) panel antennas, one microwave dish and an equipment compound occupying an area of 10.0 by 10.0 metres. Please see **Schedule A: Tower Site Location**.

Rationale for Site Selection

Rogers seeks to provide high quality, dependable wireless communications services and continually upgrades its network to ensure a high level of wireless service. When a telecommunications carrier is determining a location for new wireless installation it must consider a number of factors to ensure the new installation operates effectively and results in reliable wireless services for the immediate community. Some of the considerations include frequency of operation, local topography, patterns of wireless users, building heights, road patterns, availability of land and existing structures.

Rogers investigated the area for collocation options on nearby tower sites, buildings, and other structures. Unfortunately, there is no nearby existing infrastructure in the vicinity of the proposed tower to collocate antennas on. The proposed tower has sufficient space and loading capacity for additional antennas should another carrier wish to apply to install equipment to support their network requirements at this location. Invitations to collocate have been sent to TELUS and Freedom Mobile; their responses are pending.

Availability of a willing property owner is a major consideration; Rogers has entered into a long-term agreement with the property owner to permit the installation.

Tower Proposal Details

Rogers has completed preliminary design plans (**Schedule B: Preliminary Plans**). These preliminary design plans are subject to final engineered design, land survey and approval of Transport Canada. Transport Canada approval may require tower lighting and/or marking; comments are pending.

Consultation Process with the Fraser Valley Regional District

It is our understanding that the Fraser Valley Regional District does not have an adopted Telecommunications policy. Innovation, Science and Economic Development Canada (ISED), formerly Industry Canada, requires all proponents to consult with the local land use authority and public, notwithstanding that ISED has exclusive jurisdiction in the licensing of telecommunication sites, such as the proposed tower. Following ISED's requirements, Rogers would like to initiate Default Public Consultation Process (as described in the Industry Canada circular, CPC-2-0-03, issue 5, commonly referred to as the "CPC"). Information on the "CPC" consultation process may be found on-line at: <http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf08777.html>.

In order to obtain comments, concerns or questions in regard to the proposed tower site, the CPC requires Rogers to send out notification packages to all properties located within three times the height of the proposed tower (150 metres). A notice will also be placed in the local paper.

This comment period is a minimum of 30 days. We expect the public consultation process to commence in June 2020.

At the conclusion of the consultation process, Rogers will prepare a summary of comments received from the community as well as the replies provided by Rogers. Rogers is requesting that, subsequent to the completed consultation process a letter or resolution of concurrence will be issued by the City.

Health and Safety

Health Canada's Safety Code 6 regulations are applicable to this, and all, telecommunications sites. Safety Code 6 seeks to limit the public's exposure to radiofrequency electromagnetic fields and ensures public safety. Additional information on health and safety may be found on-line at: Health Canada: http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php

Concurrence Requirements

In order to complete the consultation process, Rogers will be requesting concurrence from the FVRD in a form acceptable to both the FVRD and ISED.

Conclusion

Please consider this information package as the official commencement CPC default consultation process. Rogers is committed to working with the RDNO staff and the Township in determining an appropriate location and design for a telecommunications tower that will provide wireless communication services.

We look forward to working together during this process. Please do not hesitate to contact us by phone at 604-620-0877 or by email at tawny@cypresslandservices.com. Thank you in advance for your assistance and consideration.

Sincerely,
CYPRESS LAND SERVICES
Agents for Rogers



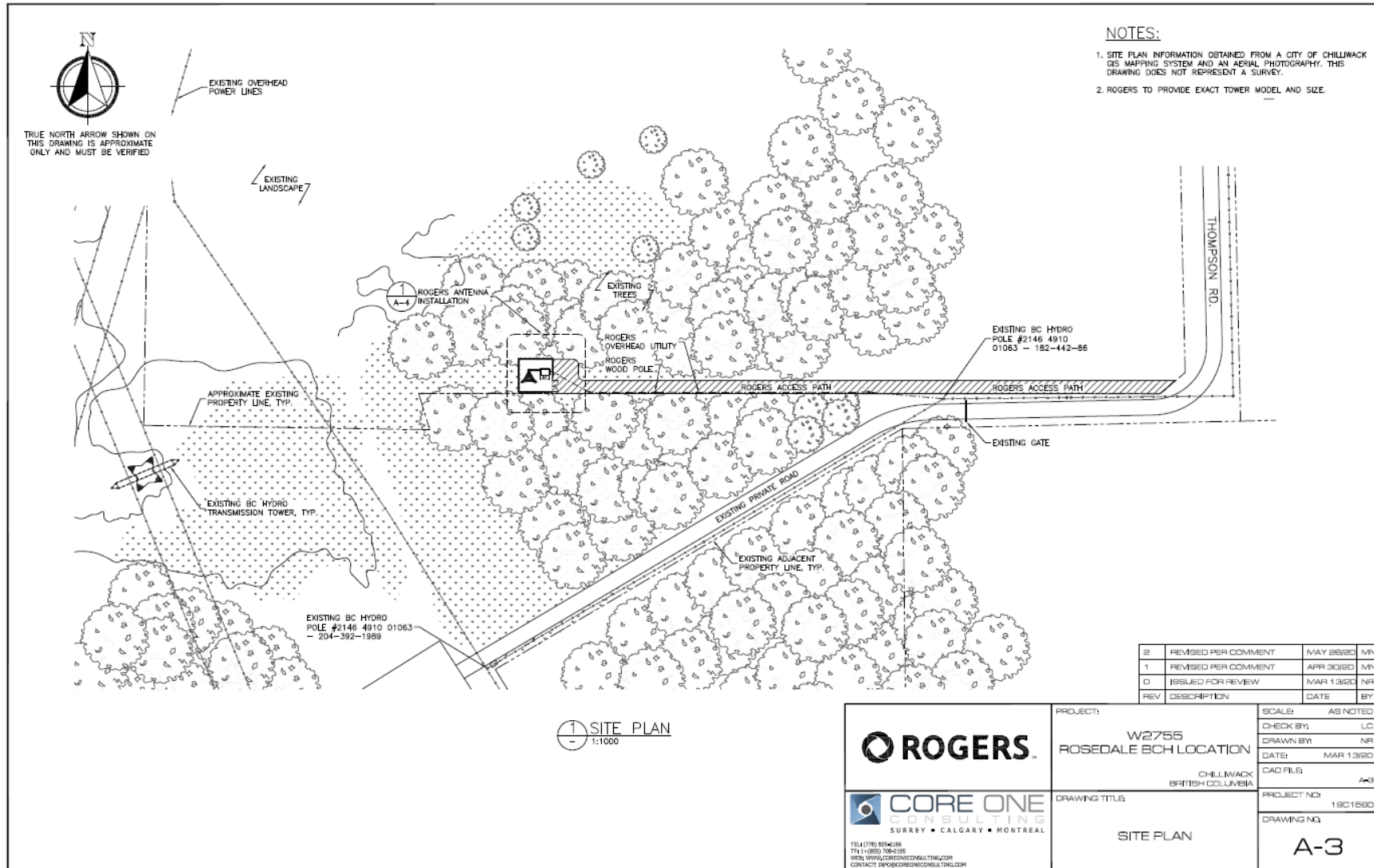
Tawny Verigin
Manager of Government Affairs

cc: Garth Jones, Project Manager, Rogers

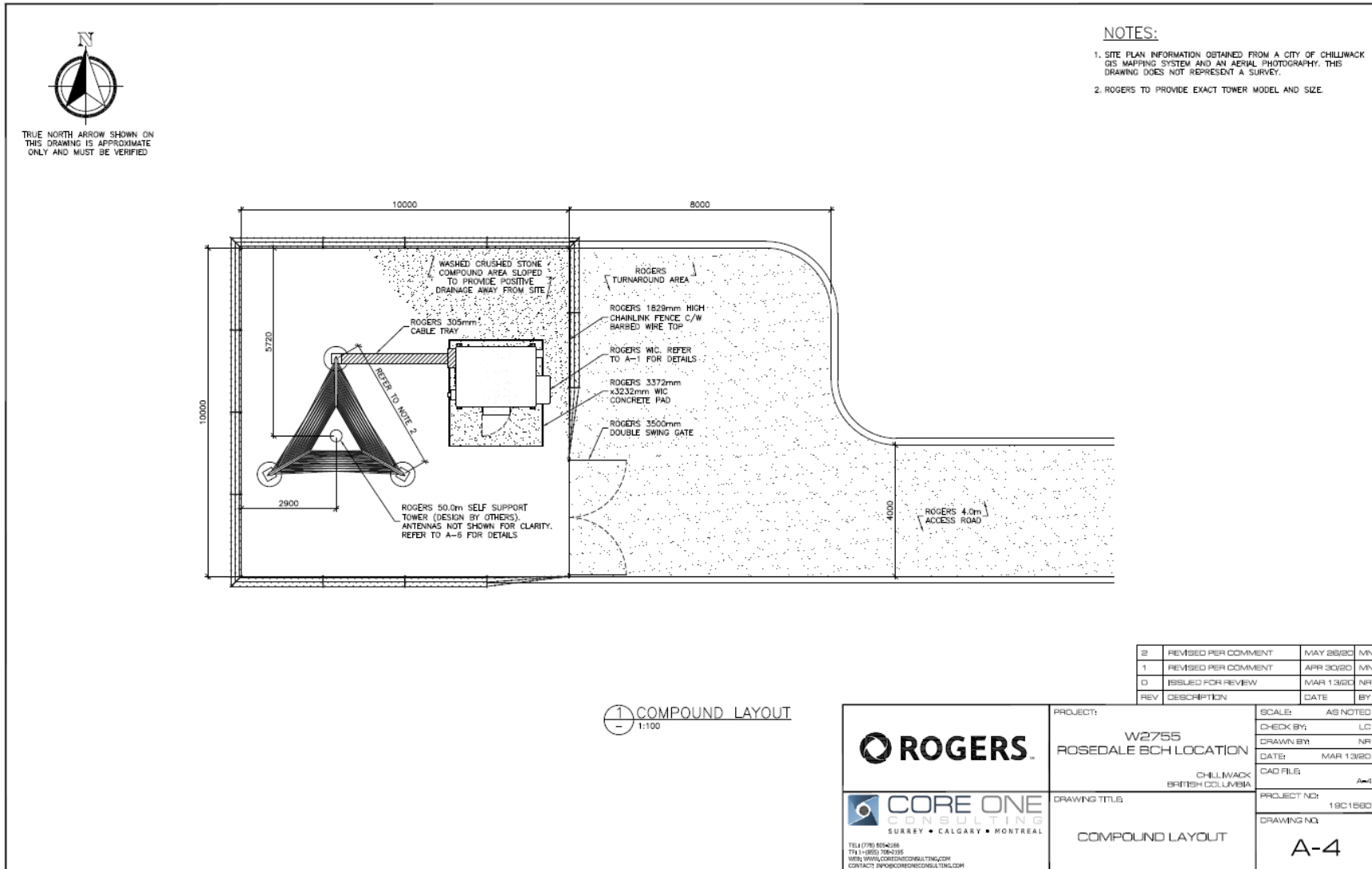
**SCHEDULE A
TOWER SITE LOCATION**



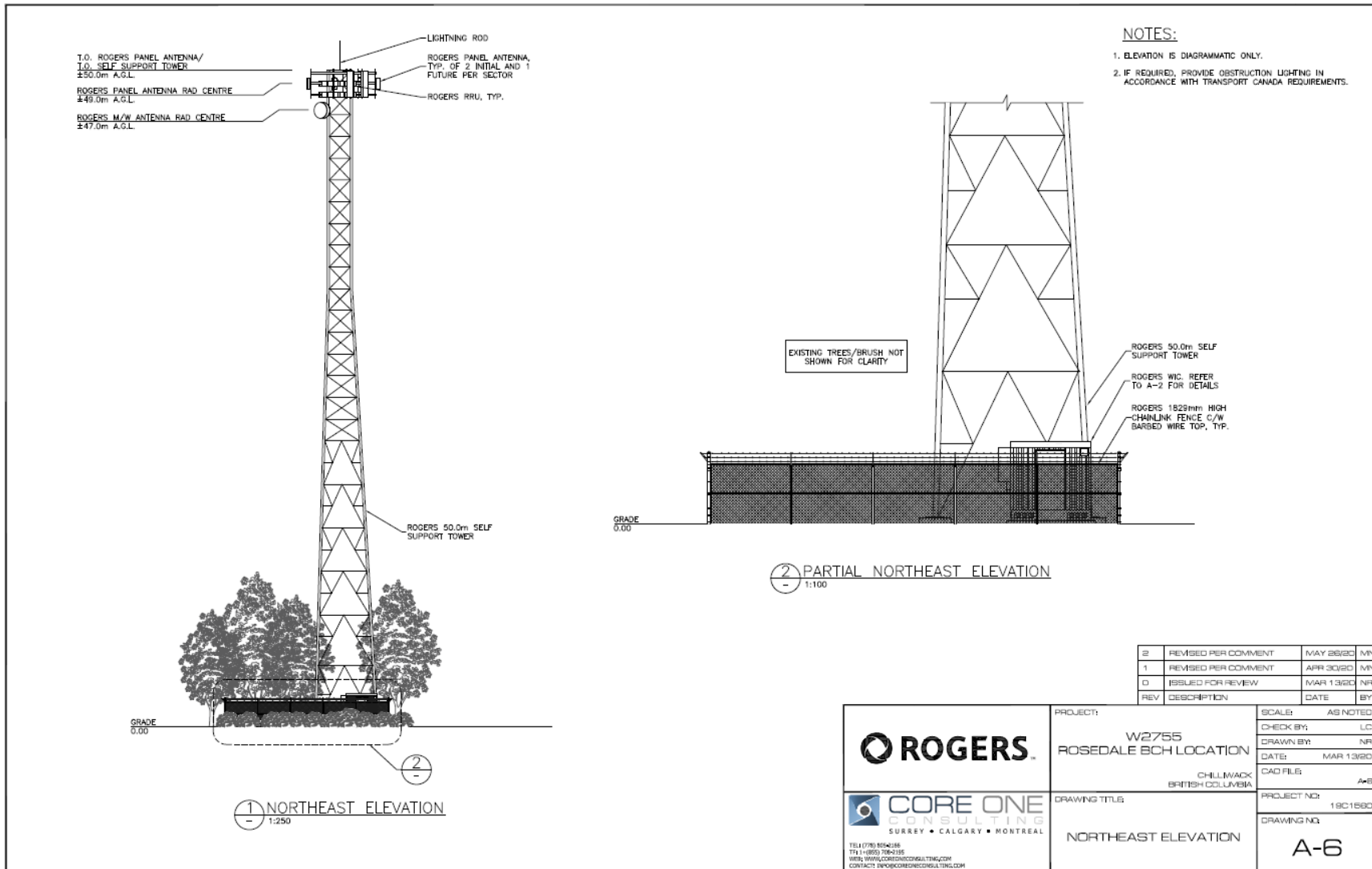
SCHEDULE B PRELIMINARY PLAN – SITE PLAN



SCHEDULE B PRELIMINARY PLAN – COMPOUND PLAN



SCHEDULE B PRELIMINARY PLAN – TOWER PROFILE



To: Electoral Area Services Committee
From: Graham Daneluz, Director of Planning & Development
Gavin Luymes, Planning Technician

Date: 2020-07-14
File No: 4300-35-2020-01

Subject: Commercial Gravel Operation Permit 2020-01 for Statlu Resources, 12 km Chehalis Forest Service Rd, Area C

RECOMMENDATION

THAT the FVRD Board issue Commercial Gravel Operations Permit 2020-01 to Statlu Resources INC for the gravel operation at 12 KM of the Chehalis Forest Service Road in Electoral Area C.

STRATEGIC AREA(S) OF FOCUS

Foster a Strong & Diverse Economy
Support Healthy & Sustainable Community
Provide Responsive & Effective Public Services

BACKGROUND

Statlu Resources INC (Statlu) holds a Licence of Occupation (#242421) for an area of Crown land approximately 12 km up the Chehalis Forest Service Road in Area C. Statlu was issued a Mines Permit by the Ministry of Energy & Mines (MEM) in 2009 and established a gravel pit at this location. The pit has been inactive for a few years. Statlu intends to reactivate the pit and has applied for a permit under *FVRD Commercial Gravel Operations Bylaw No. 1181* to do so.

The current footprint of the mine is about 8 hectares. The estimated annual volume of aggregate to be removed is 249,999 tonnes. The mine has an anticipated life of 125 years. Pit run will be mined from the mine face by wheel loader or excavator. A bulldozer may be used to push gravel and slope the mine face.

The operation will run year round Monday to Saturday from 7:00 AM to 7:00 PM with maintenance on Sundays.

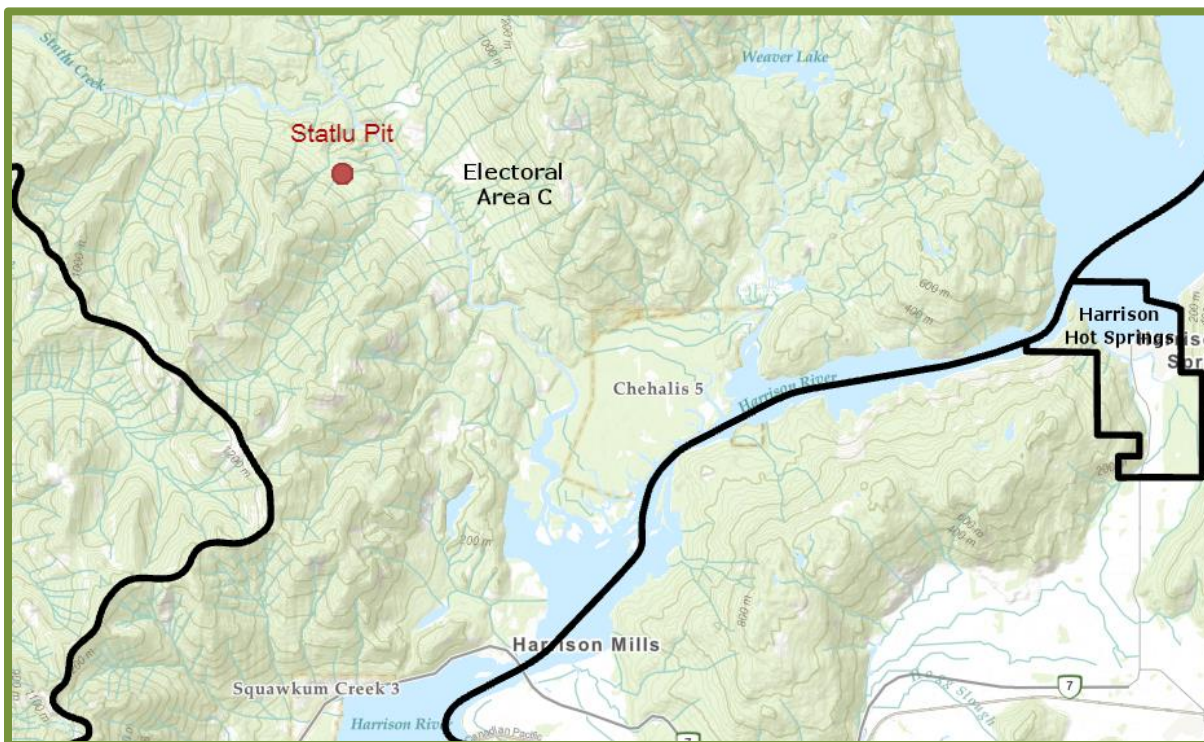
The area will be graded and planted for forestry uses upon completion of operations.

Statlu has negotiated an impact and benefits agreement with Sts'ailes First Nation.

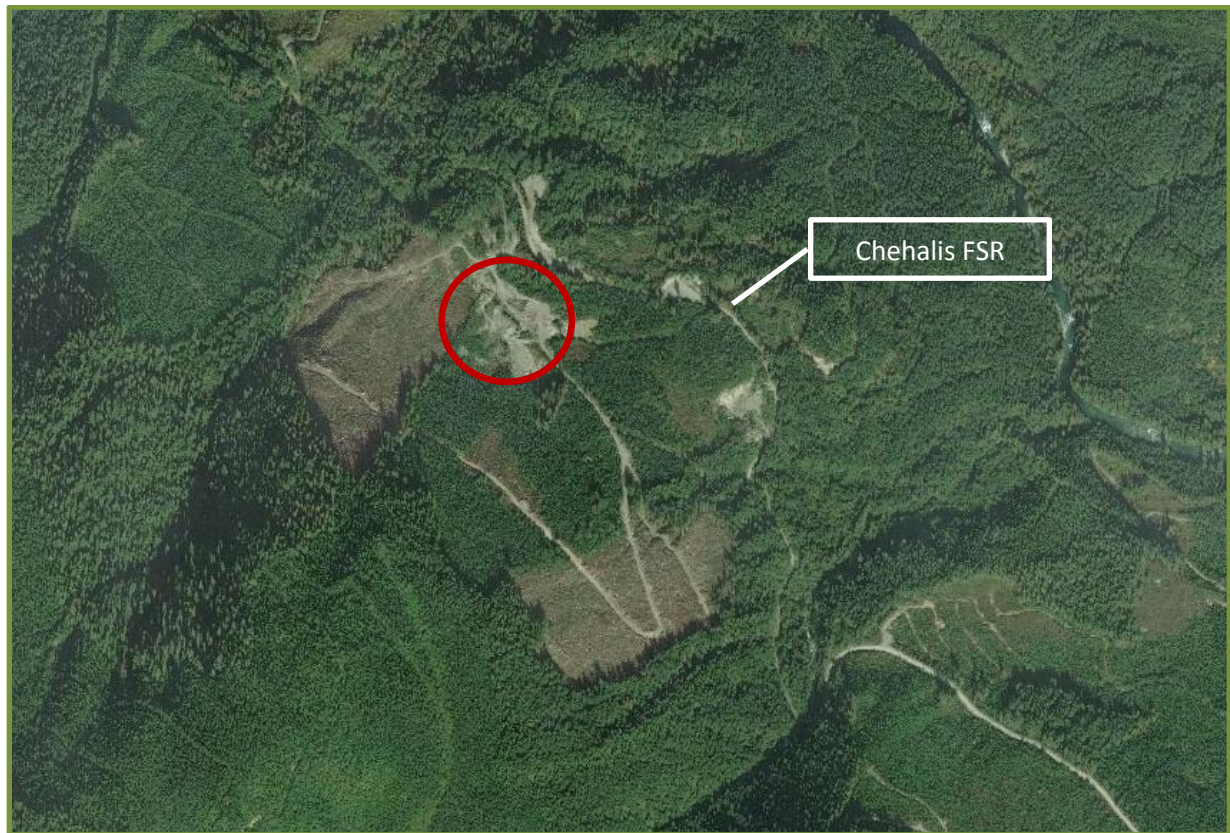
PROPERTY DETAILS			
Electoral Area	C		
Address	Crown Land near 12 km mark of Chehalis Forest Service Road		
PID	Crown Licence of Occupation No. 242421		
Folio			
Lot Size	83.6 Hectares		
Owner	Statlu Resources INC	Agent	Derek Holmes
Current Zoning	Institutional (L-2)	Proposed Zoning	No change
Current OCP	n/a – no OCP	Proposed OCP	n/a
Current Use	Gravel Pit	Proposed Use	No change
Development Permit Areas	No		
Agricultural Land Reserve	No		

ADJACENT ZONING & LAND USES			
North	^	Crown forest land	
East	>	Crown forest land	
West	<	Crown forest land	
South	v	Crown forest land	

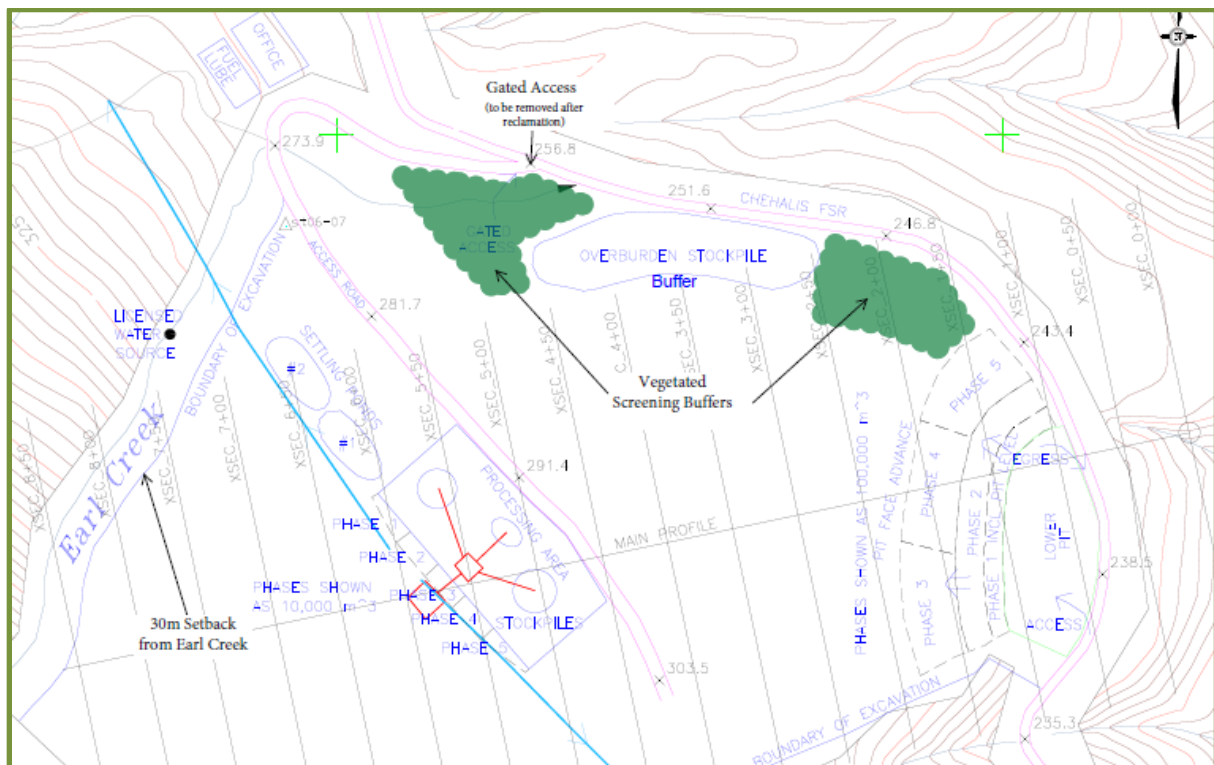
LOCATION MAP



SITE



MINE PLAN



Provincial Licences & Permits

In 2008 the Province of BC issued a Licence of Occupation (No. #242421) to Statlu Resources INC to provide tenure to Crown land located at the 12 km mark of the Chehalis Forest Service Road for the purposes of a gravel operation. The Licence of Occupation remains in good standing.

The MEM issued Mines Permit G-7-235 in 2009 for the operation. The Mines Permit contains provisions addressing reclamation, buffer zones, mine safety, site stability, erosion and sediment control, groundwater protection, fuel handling, and other matters.

Statlu is also required to have a Road Use Permit from the Ministry of Forests, Land, Natural Resource Operations & Rural Development (MFLNRORD) for the use of the Chehalis Forest Service Road. Road Use Permits address standards for maintenance of forestry roads, dust suppression, and other aspects of road use.

Gravel will be trucked from the mine site down Chehalis FSR to Lougheed Highway and then onward to the customer. If 249,999 tonnes of gravel are removed each year this would amount to about 18,000 tandem axel truck loads per year.

DISCUSSION

FVRD Plans & Bylaws

Official Community Plan (OCP)

The subject lands are not within an official community plan area and are not subject to an OCP.

Nevertheless, the policies related to gravel operations in the *Official Community Plan for Morris Valley, Harrison Mills and Lake Errock Bylaw No. 0020* may be a useful reference.

OCP Policy	Comment
7.7.1 All sand, gravel and other sites used for commercial or industrial extraction of aggregate materials should have a plan, approved by the Chief Inspector of Mines for the safe operation, abandonment, recontouring and reclamation of such sites. Where necessary, there should be consultation between the Ministry of Energy and Mines and the Regional District to ensure there is no conflict between bylaws relating to land use and the approved reclamation program.	Mines Permit G-7-235 was issued by MEM for the operation. The mine site will be reclaimed for forestry uses and planted with suitable tree species. MEM holds security in the amount of \$54,000 to ensure reclamation. Reclaiming the land for forestry uses is consistent with the zoning of the land.
7.7.2 All sand, gravel and other sites used for the commercial or industrial extraction of aggregate materials shall be operated in accordance with practices which comply with the Mines Act and Mines Regulations and Regional District bylaws.	Mines Permit G-7-235 was issued by MEM for the operation.

7.7.3 Any gravel extraction use within the normal high water wetted perimeter of a watercourse is required to obtain a permit pursuant to the British Columbia Gravel Removal Order of the Federal Fisheries Act prior to obtaining necessary approvals from the Regional District.	No gravel extraction is proposed within the normal high water wetted perimeter of any watercourse. The boundary of the mining area is setback 30 metres from two streams to the NE and SW of the pit.
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Zoning

The subject property is zoned Institutional (L-2) under *Zoning Bylaw No. 100*. Extraction of raw materials is permitted within the L-2 zone. The bylaw defines “extraction” as:

the pulling out or drawing out of primary forest, mineral, and other natural resource materials on a lot; includes only the preliminary grading, cutting, separation, or crushing of such materials for shipment; excludes all manufacturing of products from such materials and any processing not specifically included in this definition; also excludes the excavation of land as a necessary part of a construction project, the removal of unwanted stones from the surface of land undergoing cultivation, and the cleaning out or enlarging of a drainage system for the purpose of improving the drainage of lands.

The zoning bylaw allows preliminary processing of gravel – including grading, cutting, separating and crushing – to prepare material for shipment. The intent of the bylaw is to distinguish between preliminary processing for shipment and more extensive processing. Unfortunately the limit of preliminary processing for shipment is not defined in the bylaw or elsewhere and is unclear. CGO Permit 2020-01 would limit processing activities to preliminary processing for shipment. The application states that mining operation will include “pit run excavation, screening, crushing, washing, and loading for transport that would be typical for any small-sized sand and gravel operation in BC.” If Statlu wishes to undertake more extensive processing activities, they would need to apply to rezone the land or obtain a Temporary Use Permit to allow the use.

Section 300.3.j of the zoning bylaw sets out further regulations for the extraction of gravel; these are addressed in the table below. Note that the regulation of extraction uses in a zoning bylaw is likely to be ultra vires, or beyond the powers of a zoning bylaw. However, aspects of extraction may be properly regulated in a soil removal bylaw such as *Commercial Gravel Operations Bylaw No. 1181* (which does not contain these provisions).

Zoning Provision	Comment
300.3.j.i the extraction of gravel, sand and stone from a stream bed or stream bank within any zone shall not be permitted without the written approval of the Fish and Wildlife Branch, Ministry of Recreation and Conservation of the Province of British Columbia, and the Fisheries and Marine Service, Environment Canada;	Mines Permit G-7-235 was issued by MEM for the operation. After operations the site will be graded to a 2:1 slope, topped with soil, and planted with conifers. MEM holds security in the amount of \$54,000 to ensure reclamation. Reclaiming the land for forestry uses is consistent with the zoning of the land.
300.3.j.ii the extraction of gravel, sand and stone shall not be permitted on lands within 30.5 m (100.0 feet) of a zone within which such extraction is not a permitted use;	The mine site is at least 5 km from the boundary of a zone in which the extraction of gravel is not permitted.

300.3.j.iii such extraction shall render minimum damage to the natural environment of the site and to the general area in which the said extraction is to be conducted;	Management of environmental values on Crown lands is the jurisdiction of the Province of BC. The Province has issued land tenure and a Mines Permit for the Statlu Pit. Upon completion of the mining activity, the site will be reclaimed for forestry uses. The mine excavation is at least 30 m from local stream. FVRD staff are unable to determine if the damage to the natural environment is minimal.
300.3.j.iv discontinuance of the extraction operation for a period in excess of 6 months, or termination of the use shall require that the owner of land remove all debris, structures, and equipment from the site and restore the site to its former condition, as nearly as possible, within a period of 8 months from the date of such discontinuance or termination.	Extraction at the mine site appears to have been discontinued for a period greater than 6 months. Reclamation of mine sites is the jurisdiction of the Province of BC and FVRD does not have the authority to require reclamation of a mine with a valid Mines Permit.

Commercial Gravel Operations Bylaw

FVRD Electoral Areas Commercial Gravel Operations Bylaw No. 1181, 2016 received the approval of the Minister of Mines and was subsequently adopted by the FVRD Board in September, 2016. The intent of the bylaw is to support a viable commercial aggregate extraction industry as a crucial component of the regional economy while mitigating impacts of aggregate operations on local communities. It does this by:

- mapping Restricted Areas where new gravel operations are prohibited;
- identifying Community Areas where noise and dust emissions are regulated, monitored and reported on;
- requiring permits for commercial gravel operations; and
- establishing annual volume-based fees which will support the administration of the bylaw and associated services provided by the FVRD.

The Statlu operation requires a permit under *Bylaw No. 1181*.

Community Impacts

FVRD Commercial Gravel Operations Bylaw No. 1181 is primarily aimed at managing the impacts of gravel operations on surrounding properties. The Statlu Pit is located in a relatively remote area about 12 km up the Chehalis Forest Service Road. Surrounding lands are used mainly for forestry, resource harvesting, and backcountry recreation. The operation is at least:

- 5 km from the Chehalis River Hatchery and Kwikwexwelhp Correctional Facility; and
- 8 km from residential uses at Morris Valley Road and Echo Lake.

These distances are straight-line 'as the crow flies'. Actual road travel distances are greater. Given this the pit location will have minimal community impacts.

Bylaw No. 1181 further defines Community Areas where gravel operations may have a significant impact on surrounding land uses. The Statlu operation is not within a Community Area. The applicant is therefore not required to provide noise and dust mitigation plans. The applicant is however required to provide a communications plan that addresses how the permit holder will communicate with the surrounding community. Statlu has stated that their primary communication method will be a sign posted with the Mine Manager name and contact information under the provincial *Mines Act* and *Bylaw No. 1181*.

Noise & Dust

Though not required under *Bylaw No. 1181*, the applicant has provided a Noise, Dust and Water Control Plan that outlines measures to minimize noise and dust emissions and to manage water at the mine site. Control measures are summarized the table below.

Noise	<ul style="list-style-type: none"> • Maintain pit walls and vegetated buffer to dampen noise • 30 km/hr speed limit, smooth roads to reduce vehicle noise • Equipment to be operated within specifications and use noise abatement accessories
Dust	<ul style="list-style-type: none"> • Work to be limited on dry/windy days • Trucks to be washed and tarped when bearing load • Speed limited to 30 km/hr • Mined areas to be replanted and soiled • Vegetated buffer maintained around site (Appendix 1) • Conveyors and crushers equipped with water spray bars • Drop height to not exceed 1 metre, chutes to convey material
Water	<ul style="list-style-type: none"> • No fuel stored on site during normal operations • No effluent discharge anticipated • 30-metre setback maintained from Earl Creek (Appendix 1) • Personnel to be provided and trained in spill kit response

Traffic

The use of public roads – including both forestry roads under the authority of MFLNRORD and highways under the authority of the Ministry of Transportation & Infrastructure (MOTI) – is not within the jurisdiction of FVRD. However, it is understood that the operation may result in significant truck traffic on Chehalis FSR, a portion of Morris Valley Road, and Loughheed Highway. Traffic volume and dust from gravel forestry roads are a noted concern of local residents.

Mines Permit G-7-235 requires Statlu to “schedule truck haulage to and from the pit such that gravel trucks are not in conflict with elementary school bus drop-off and pick-up points between the nearest residence to the pit along the transportation route and the intersection with the Loughheed Highway.”

Furthermore, Statlu is required to possess a Road Permit from MFLNRORD authorizing industrial use of the Chehalis FSR. MFLNRORD may require dust control measures as a part of the Road Use Permit. As issues arise they can be referred to these ministries for resolution.

Buffers & Screening

Bylaw No. 1181 requires that “every person undertaking aggregate removal or processing activity must provide screening by providing landscaping, vegetated berms, fences, or other structures or measures so as to avoid an unreasonable detrimental visual impact on adjacent lands where residential, recreational, resort or commercial uses exist or are permitted, and to minimize visual impacts to the surrounding area.”

Statlu has addressed this requirement in their Noise, Dust, and Water Control Plan and Notice of Work submitted to MEM. Statlu notes that the pit is “surrounded by mixed treed, upland vegetation that is dense in nature.” Treed vegetation along Chehalis FSR and the natural slope of the area also provide screening. Statlu confirms that berms will be constructed and maintained along the excavation to mitigate noise, dust, and visual impacts. Statlu also states that a “forest buffer north and south of the project will be maintained.” Part of this area is designated on the submitted mine plan (Appendix 1).

Mines Permit G-7-235 further requires Statlu to establish buffer zones and/or berms.

Environmental Management

Statlu has included environmental management practices and standards in their application. These include water protection, mitigation of atmospheric effects, and environmental restoration strategies after operation. These measures demonstrate attention to environmental management on the site.

The project is not anticipated to have effluent discharge that could affect surface watercourses. Groundwater flows have not been encountered during test drilling, test pitting, or current excavation according to Statlu. To further protect local water quality, Statlu states that no fuel storage will occur onsite during normal mining activities. Any fuel storage during large activities will include double-walled fuel tanks and staff will be trained in and provided with emergency spill response equipment. Statlu will also maintain a 30-metre setback from Earl Creek.

Statlu has also considered the mitigation of atmospheric effects from operation. In addition to the measures described for dust mitigation, Statlu has outlined practices that include:

- Use modern equipment that meets the latest Canadian emission standards;
- Inspect, maintain, and operate equipment within specifications and capacity;
- Limit equipment idling; and
- Use low-sulphur fuels for all diesel equipment.

Statlu has also committed to reforestation and reclamation of the natural environment after operations. This is described in their Notice of Work and required under Mines Permit G-7-235. Statlu states that the site will be resoiled, revegetated, and “replanted with selected conifers” on a progressive basis. Mines Permit G-7-235 further requires that the site be “revegetated to a self-sustaining state using appropriate plant species” and that watercourses and water quality be reclaimed to the satisfaction of the Chief Inspector of Mines. The province holds a security of \$54,000.00 to ensure the reclamation plan is carried out.

Next Steps

Section 62 of *Commercial Gravel Operations Bylaw No. 1181* states that “where

- (a) an application for a permit under this bylaw has been made,
- (b) the Board is satisfied that the proposed aggregate removal and processing conforms with this bylaw, and all other bylaws of the Regional District, and
- (c) the applicant has paid the application fee,

the Board shall issue a permit to the applicant for the aggregate removal and processing specified in the permit application.”

These conditions are satisfied in the opinion of staff and the Board may consider issuance of CGO Permit 2020-01 at its regular meeting on July 28, 2020. The accounting of application requirements under *Bylaw No. 1181* can be found in Appendix 2: FVRD Permit Application Checklist.

COST

An application fee of \$2,500.00 was received.

CONCLUSION

The issuance of Commercial Gravel Operations Permit 2020-01 for the Statlu Resources INC operation on the Chehalis Forest Service Road will benefit the community by establishing ongoing monitoring and requiring annual compliance reports. Annual fees paid by Statlu to FVRD will support the administration of *Bylaw No. 1181* including compliance efforts. A copy of the draft permit is attached.

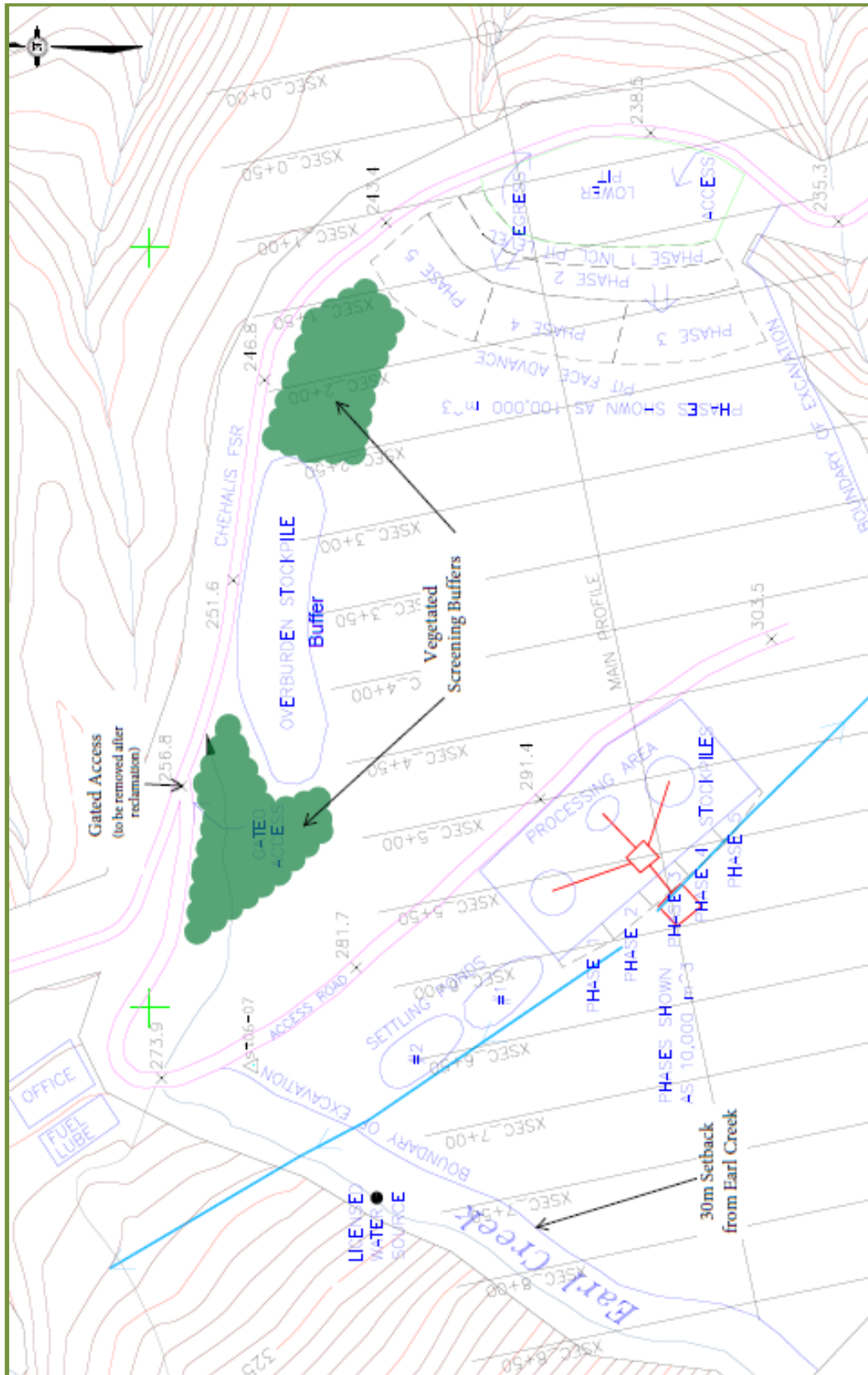
COMMENTS BY:

Kelly Lownsborough, Chief Financial Officer/ Director of Financial Services:

Reviewed and supported.

Jennifer Kinneman, Chief Administrative Officer: Reviewed and supported.

APPENDIX 1: MINE PLAN



APPENDIX 2: FVRD PERMIT APPLICATION CHECKLIST

	Received	Requirement Details per Bylaw No. 1181
Survey Plan of Properties	Y	Surveyed plans showing the lands subject to the permit.
Mine Plan Information	Detailed descriptions, plans, and specifications endorsed by the coordinating professional in relation to the land on which the aggregate removal and any proposed processing is to be undertaken including:	
	Y	The location of the proposed aggregate removal and any proposed processing on the land, including dimensions of the proposed permit area;
	Y	The location of all relevant existing features of the land, including watercourses, buildings, structures, improvements, machinery, driveways, roads, lanes, bridges, retaining walls, drainage facilities, sewage disposal systems, wells, water systems and other utility works;
	Y	The proposed location of all buildings, machinery, equipment, and other structures and improvements to be constructed or installed for the purposes of the removal or processing of aggregate during the term of the permit;
	Y	The proposed method of screening the permit area by landscaping, berming or otherwise, in order to comply with this bylaw;
	Y	The proposed location and dimensions on the land of buffer zones, tree cover, and berms, fences, and other landscape screens;
	Y	The proposed locations of access to the parcel during the term of the permit;
	Y	The location and configuration of proposed stockpiles and measures proposed to maintain stockpiles so as not to adversely affect buffer zones or adjacent land.
	Descriptions and plans approved by a Registered Professional in relation to the condition of the permit area upon expiry or completion of the permit addressing the following:	
	Y	The proposed access to the parcel upon expiry of the permit;
	Y	The proposed use of the parcel upon expiry of the permit;
	N/A	Where the land is in a floodplain or is identified in an Official Community Plan as subject to flooding, debris flow, avulsion or erosion, the proposed reclamation measures to address these risks. Not required – not in Official Community Plan
Reports	N/A	If aggregate removal or processing will be on land within a Community Area, a noise control plan prepared by a qualified registered professional. See Sections 25(a) and 57 and Schedule "A" of Bylaw No. 1181; Not required – not in Community Area
	N/A	If aggregate removal or processing will be on land within a Community Area, a dust mitigation plan prepared by a qualified registered professional. See Sections 25(b) and 57 and Schedule "A" of Bylaw No. 1181; Not required – not in Community Area
	Y	A communications plan that addresses how the permit holder will communicate with the surrounding community;
	N/A	If aggregate removal or processing is or will be on land within a Community Water System Protection Area, a drinking water assurance plan prepared by a qualified registered professional. See Section 26 of Bylaw No. 1181. Not required – not in Community Area
Coordinating Professional	Y	If the volume of aggregate removed in any 12-month period will exceed 5,400 cubic metres, the name of the coordinating professional and the Confirmation of Commitment signed by the owner and the coordinating professional (Schedule B-1 of Bylaw No. 1181).



FRASER VALLEY REGIONAL DISTRICT COMMERCIAL GRAVEL OPERATION PERMIT

Permit No.:	2020-01
Permit Holder:	Statlu Resources INC
Address:	2579 126 th Street, Surrey, BC V4A 3P6
Agent:	Mr. Derek Holmes, Holmes Mining Consultants
Permit Area:	Crown License of Occupation No. 24242, Chehalis Forest Service Road, Area C

The lands subject to this permit are shown on Schedule A – Permit Area, attached hereto and which forms an integral part of this permit. The lands are those Crown lands subject to License of Occupation No. 242421 and described as:

THAT PARCEL OR TRACT OF LAND IN THE VICINITY OF CHEHALIS RIVER, GROUP 1,
NEW WESTMINSTER DISTRICT CONTAINING 83.61 HECTARES, MORE OR LESS

LIST OF ATTACHMENTS

The following schedules are attached hereto and form part of this permit:

Schedule “A”	Permit Area
Schedule “B”	Mine Plan

AUTHORITY

This Commercial Gravel Operation Permit is issued under *FVRD Electoral Area Commercial Gravel Operations Bylaw No. 1181, 2014* (“Bylaw 1181”) which was approved by the Minister of Energy & Mines on September 16, 2016 and adopted the FVRD Board on September 21, 2016.

TERMS & CONDITIONS

1. No person shall cause or permit the removal or processing of aggregate except in accordance with this permit, with *FVRD Commercial Gravel Operations Bylaw No. 1181, 201 (Bylaw 1181)* and with the applicable zoning bylaw. Nothing in this permit allows or approves the processing of aggregates where aggregate processing is not a permitted use of the land under a valid and applicable zoning bylaw.

2. All gravel removal or processing activities shall be in accordance with the descriptions, plans, reports and specifications submitted by the applicant in support of the permit application.
3. All gravel removal and processing activities shall occur within the areas shown on the Mine Plan attached to this permit as Schedule "B".
4. The permit holder must comply with *FVRD Commercial Gravel Operations Bylaw No. 1181* and all other bylaws of the Regional District, the Local Government Act, and the Community Charter related to aggregate removal and processing.
5. The permit holder must obtain and keep in force all other permits, approvals, consents and permissions required under any statute, regulation, order, enactment or contract related to the aggregate removal or processing.
6. Aggregate operations should generally follow the best practices outlined in the *Environmental Objectives and Best Management Practices for Aggregate Extraction and Aggregate Operators Best Management Practices Handbook for British Columbia* (or as updated).

Term of Permit

7. The term of this permit will be five (5) years from the date of issuance. For certainty, this permit will expire at 24:00 hours on July 28, 2025.

Hazards

8. No person shall cause or permit aggregate removal activities to create a danger to the land or other lands from flooding, mud flow, debris flow, debris torrent, erosion, land slip, rock falls, subsidence or avalanche.
9. No person shall cause or permit aggregate removal activities to occur within 30 metres of the natural boundary of any stream or wetland.

Monitoring and Reporting

10. The permit holder shall, on or before February 28 of each calendar year, provide a report or reports to the Chief Administrative Officer in the form prescribed in Schedule B-3 of *Bylaw 1181* (as applicable) and signed and sealed by the coordinating professional or, as applicable, the registered professional confirming that the aggregate removal and processing is in substantial compliance with the descriptions, plans, and specifications submitted by the permit holder in support of the permit application, all permit conditions and the requirements of *Bylaw 1181*, or identifying and describing any areas of non-compliance with recommendations to bring operations into compliance.
11. The permit holder shall submit to the Chief Administrative Officer, on the prescribed form, an aggregate removal volume report annually for the period January 1 to December 31 by February 28 of the following calendar year. The permit holder must ensure that the volume report accurately states the volume of aggregate removed from the permit area in cubic metres and must be certified as correct by the coordinating professional to the best of his or her knowledge.

Coordinating Professional

12. A Coordinating Professional must be retained by the permit holder throughout the period of the permit. The Coordinating Professional shall keep a record of all field reviews and of any corrective action taken and shall make the record available to FVRD upon request.

Fees

13. At the time of the filing of annual aggregate removal volume report, the permit holder shall pay to the Regional District fees for each cubic metre of aggregate removed from the permit area in the amount of \$0.15 per cubic meter of aggregate removed.

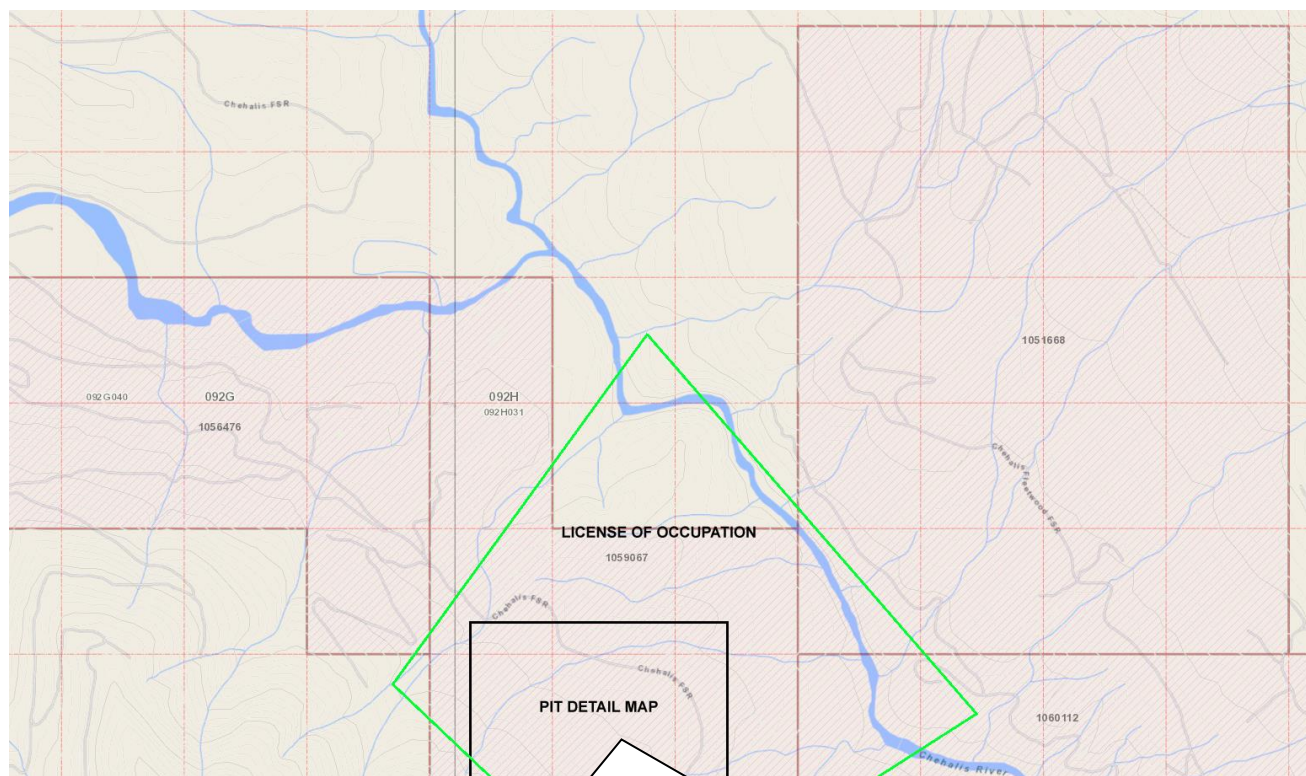
PERMIT ISSUANCE

ISSUED BY THE BOARD OF THE FRASER VALLEY REGIONAL DISTRICT ON THE 28th DAY OF JULY, 2020.

PERMIT 2020-01 EXPIRES ON THE 28th DAY OF JULY, 2025.

Chief Administrative Officer

COMMERCIAL GRAVEL OPERATION PERMIT 2020-01
SCHEDULE "A" - Permit Area

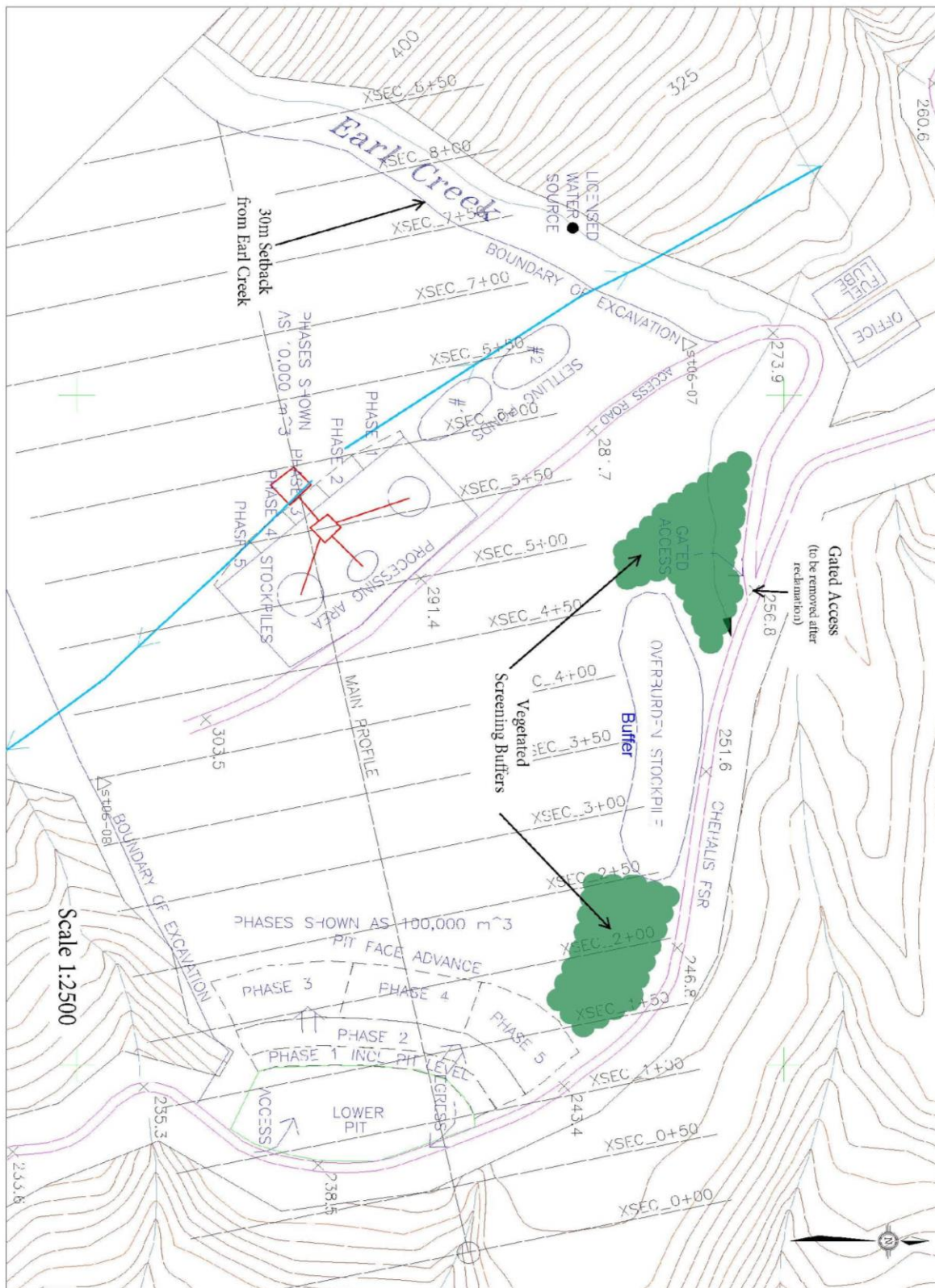


Permit Area for CGO Permit 2020-01

THAT PARCEL OR TRACT OF LAND IN THE VICINITY OF
CHEHALIS RIVER, GROUP 1, NEW WESTMINSTER DISTRICT
CONTAINING 83.61 HECTARES, MORE OR LESS

Crown License of Occupation No. 242421

COMMERCIAL GRAVEL OPERATION PERMIT 2020-01

SCHEDULE "B" – Mine Plan (not to scale)

PROVINCE OF BRITISH COLUMBIA
MINISTRY OF ENERGY, MINES AND PETROLEUM RESOURCES

SAND AND GRAVEL PERMIT
APPROVING WORK SYSTEM AND RECLAMATION PROGRAM
(Issued pursuant to Section 10 of the **Mines Act** R.S.B.C. 1996, C.293)

Permit: **G-7-232**

Mine No.: **1610323**

Issued to: **Earl Wilder**
[REDACTED]
[REDACTED]

for work located at the following property:

Statlu Pit

This approval and permit is subject to the appended conditions.

Issued this 9th day of February in the year 2009.



Ed Taje

Senior Inspector of Mines, *for*
Douglas E Sweeney
Chief Inspector of Mines

PREAMBLE

Notice of intention to commence work on a sand and gravel pit, including a plan of the proposed work system and a program for the protection and reclamation of the surface of the land and watercourses affected by the Notice of Work dated August 19, 2008 was filed with the Inspector of Mines on August 19, 2008. Notice of such filing was published in Agassiz-Harrison Observer on October 29, 2008 and a Public Information Meeting was held on November 19, 2008.

This permit contains the requirements of the Ministry of Energy, Mines and Petroleum Resources for reclamation. It is also compatible, to the extent possible, with the requirements of other provincial ministries for reclamation issues. The amount of security required by this permit, and the manner in which this security may be applied, will also reflect the requirements of those ministries. Nothing in this permit, however, limits the authority of other provincial ministries to set other conditions, or to act independently, under their respective permits and legislation.

Decisions made by staff of the Ministry of Energy, Mines and Petroleum Resources will be made in consultation with other ministries.

CONDITIONS

The Chief Inspector of Mines (Chief Inspector) hereby approves the work plan and the program for protection and reclamation of the land surface and watercourses subject to compliance with the following conditions:

1. Reclamation Security
 - (a) The owner, agent or manager (herein called the Permittee) shall maintain with the Minister of Finance securities in the amount of fifty four thousand dollars (\$54,000.00). A letter of credit dated April 9, 2009 in the amount of ten thousand dollars (\$10,000.00) has been submitted, however, the balance of forty-four thousand dollars (\$44,000.00) shall be made available at the request of the Chief Inspector of Mines. The security will be held by the Minister of Finance for the proper performance of the approved program and all the conditions of this permit in a manner satisfactory to the Chief Inspector.

- (c) The Permittee shall conform to all Ministry of Environment approval, licence and permit conditions, as well as requirements under the **Wildlife Act**. Should the Permittee not conform to these conditions, then all or part of the security may be used to fulfill these requirements.

2. Land Use

The surface of the land and watercourses shall be reclaimed to the following land use: **reforestation**

3. Productivity

The level of land productivity to be achieved on reclaimed areas shall not be less than existed prior to mining on an average property basis unless the Permittee can provide evidence which demonstrates, to the satisfaction of the Chief Inspector, the impracticality of doing so.

4. Revegetation

Land shall be re-vegetated to a self-sustaining state using appropriate plant species.

5. Use of Suitable Growth Medium

- (a) On all lands to be revegetated, the growth medium shall satisfy land use, productivity, and water quality objectives. Topsoil and overburden (to rooting depth) shall be removed from operational areas prior to any disturbance of the land and stockpiled separately on the property for use in reclamation programs, unless the Permittee can provide evidence which demonstrates, to the satisfaction of the Chief Inspector, that reclamation objectives can otherwise be achieved.
- (b) No topsoil shall be removed from the property without the specific written permission of the Inspector of Mines.

6. Buffer Zones and Berms

Buffer zones and/or berms shall be established between the mine and the property boundary unless exempted in writing by the Inspector of Mines.

7. Treatment of Structures and Equipment

Prior to abandonment, and unless the Chief Inspector has made a ruling otherwise, such as heritage project consideration or industrial use,

- (a) all machinery, equipment and building superstructures shall be removed,
- (b) concrete foundations shall be covered and revegetated unless, because of demonstrated impracticality, they have been exempted by the Inspector, and
- (c) all scrap material shall be disposed of in a manner acceptable to the Inspector.

8. Watercourses

- (a) Watercourses shall be reclaimed to a condition that ensures
 - (1) long-term water quality is maintained to a standard acceptable to the Chief Inspector,
 - (2) drainage is restored either to original watercourses or to new watercourses which will sustain themselves without maintenance, and
 - (3) use and productivity objectives are achieved and the level of productivity shall not be less than existed prior to mining unless the Permittee can provide evidence which demonstrates, to the satisfaction of the Chief Inspector, the impracticality of doing so.
- (b) Water which flows from disturbed areas shall be collected and diverted into settling ponds.

9. Roads

- (a) All roads shall be reclaimed in accordance with land use objectives unless permanent access is required to be maintained.

- (b) Individual roads will be exempted from the requirement for total reclamation under condition 9(a) if either:
 - (1) the Permittee can demonstrate that an agency of the Crown has explicitly accepted responsibility for the operation, maintenance and ultimate deactivation and abandonment of the road, or
 - (2) the Permittee can demonstrate that another private party has explicitly agreed to accept responsibility for the operation, maintenance and ultimate deactivation and abandonment of the road and has, in this regard, agreed to comply with all the terms and conditions, including bonding provisions, of this reclamation permit, and to comply with all other relevant provincial government (and federal government) regulatory requirements.

10. Disposal of Fuels and Toxic Chemicals

Fuels, chemicals or reagents which cannot be returned to the manufacturer/supplier are to be disposed of as directed by the Chief Inspector in compliance with municipal, regional, provincial and federal statutes.

11. Temporary Shutdown

If this sand and gravel pit ceases operation for a period longer than one year the Permittee shall either continue to carry out the conditions of the permit or apply for an amendment setting out a revised program for approval by the Chief Inspector.

12. Safety Provisions

All safety and other provisions of the **Mines Act** shall be complied with to the satisfaction of the Chief Inspector.

13. Monitoring

The Permittee shall undertake monitoring programs, as required by the Inspector of Mines, to demonstrate that reclamation objectives are being achieved.

14. Alterations to the Program

Substantial changes to the program must be submitted to the Inspector of Mines for approval.

15. Notice of Closure

Pursuant to Part 10.6.1 of the Health, Safety and Reclamation Code for Mines in British Columbia, a Notice of Completion of Work shall be filed with the Inspector of Mines not less than seven days prior to cessation of work.

16. Annual Report

Annual reports shall be submitted in a form and containing the information as and if required by the Inspector of Mines.

17. Site Stability

- a) The inspector shall be advised in writing at the earliest opportunity of any unforeseen conditions that could adversely affect the extraction of materials, site stability, erosion control or the reclamation of the site.
- b) The stability of the slopes shall be maintained at all times and erosion shall be controlled at all times.
- c) The discovery of any significant subsurface flows of water, seeps, substantial amounts of fine textured, soils, silts and clays, shall be reported to the inspector as soon as possible and work shall cease until the inspector advises otherwise.

OTHER CONDITIONS

- 18. Property boundaries shall be marked and maintained and pit boundaries shall be marked and maintained. All persons working on the property will be instructed as to the meanings of the markings.
- 19. Operator shall ensure that the proposed mining activities do not affect nesting birds, especially under Section 34 of the *Wildlife Act*. Typical species of interest would be Heron, Eagle, Peregrine Falcon, Spotted Owl and primary cavity nesters.

Sediment and Erosion Control

20. Sediment control and water management structures shall be constructed and operational prior to soil disturbance which has the potential to result in sediment release. This shall be monitored.
21. The Permittee shall initiate progressive reclamation where possible to control erosion around the mine area.
22. Sediment laden water resulting from excavation activities, including drainage, shall not be allowed free access to creeks or watercourses but shall be suitably contained and/or treated to produce a final effluent not exceeding 25mg/l total suspended solids prior to discharge.

Groundwater/Aquifer Protection

23. A minimum of 1 meters of gravel/sand shall be left in place above the high ground water table. This buffer will be maintained to prevent disruption of groundwater. The base elevation shall be established by a suitable Professional Registered in the Province of British Columbia
24. Land will be as far as practical contoured to match the adjacent topography and revegetated in accordance with the intended end land use

Fuel Handling/Spill Containment

25. Prior to commencing construction, the Permittee shall develop a Fuel Management and Spill Contingency Plan covering construction and mining activities. The plan shall be revised as appropriate and adhered to throughout the life of mine. The spill contingency plan shall be developed in accordance with the BC Guidelines for Industrial Emergency Response Contingency Plans (1992). This plan shall be maintained at the mine and be available to all supervisors and workers. All supervisors and workers shall be instructed in the provisions of this plan prior to the commencement of site development and operations and as may be necessary there after. The plan shall be forwarded to the Ministry of Energy, Mines and Petroleum Resources – Southwest Region Office.
26. Equipment shall be refueled at one designated site, using mobile tankage. Mobile equipment shall not be refueled or serviced within 50 metres of any watercourse. Oil spills shall be cleaned up immediately and the waste materials disposed of in

an appropriate manner. Absorbent pads and spill containment kits shall be maintained on-site during the course of operations.

27. All stationary engines shall be provided with suitably designed drip pans.
28. An emergency spill containment kit of adequate capacity shall be maintained on site whenever the mine is in operation.
29. The Permittee shall immediately contain and implement remedial measures for any spill of hydrocarbon or other deleterious substance at the mine site. Any such occurrence shall be reported to the District Inspector, and to the Provincial Emergency Program in accordance with the Spill Reporting Regulation of the Environment Management Act. Contaminated materials shall be disposed of in a manner acceptable to the Regional Waste Manger. Any spill of hydrocarbon product or other deleterious material in quantities that require reporting under Federal or Provincial regulation or statute, shall be considered a dangerous occurrence pursuant to Part 1.7.1 of the Code.
30. Suitable methods of dust control including water sprays shall be utilized to mitigate dust created from mining/processing operations including haulage on and from site.
31. Measures shall be taken to mitigate noise created as a result of processing of aggregate.

Hours of Operation

32. The Manager shall as schedule truck haulage to and from the pit such that gravel trucks are not in conflict with elementary school bus drop off and pick up points between the nearest residence to the pit along the transportation route and the intersection with the Loughheed Highway.

Others

33. Waste containers and garbage shall be removed from site weekly.
34. First aid equipment shall be maintained as appropriate for the number of people employed. The manager shall ensure a Emergency Transport Vehicle is on site at all times when work is undertaken within the foot print of the permit area.

35. Excavation work shall be suspended during periods of extreme fire hazard conditions. Fire fighting equipment shall be maintained at all drill sites in accordance with the Forest Fire Prevention and Suppression Regulation.
36. Unless modified by this permit all conditions of the Notice of work shall be considered integral components of this permit.
37. This permit allows for the extraction of pit run, crushing, and screening and washing.
38. A road use permit is required from the Ministry of Forests and the permittee is required to meet conditions within the road use permit to the satisfaction of the Ministry of forests.

FVRD Commercial Gravel Operations Bylaw No. 1181

Permit Application

I / We hereby apply for a: **Statlu Resources Inc.**



New Permit

An application fee must be paid upon submission of this application in the amount of: (a) \$2,500.00 where the volume of aggregate removed will exceed 5,400 cubic metres in any twelve month period; or, (b) \$1,250 where the volume of aggregate removed will not exceed 5,400 cubic metres in any twelve month period.

**Civic
Address**

12km mark of Chehalis Forest Service Road PID _____
 _____ PID _____
 _____ PID _____
 _____ PID _____

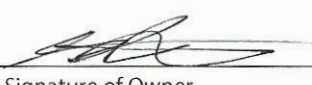
**Legal
Description**

LEGAL DESCRIPTION: THAT PARCEL OR TRACT OF LAND IN THE VICINITY OF CHEHALIS RIVER, GROUP 1, NEW WESTMINSTER DISTRICT CONTAINING 83.61 HECTARES, MORE OR LESS



Lot _____ Block _____ Section _____ Township _____ Range _____ Plan _____
 Lot _____ Block _____ Section _____ Township _____ Range _____ Plan _____
 Lot _____ Block _____ Section _____ Township _____ Range _____ Plan _____
 Lot _____ Block _____ Section _____ Township _____ Range _____ Plan _____

The property or properties described above are the subject of this application and it is the property, or properties, from which aggregate is to be removed.

**Owner's
Declaration**

<i>This application is made with my full knowledge and consent. The information submitted is true and correct.</i>		
Name of Owner (print)	Signature of Owner	Date
Grant Johnston, Director		April 3/20
Name of Owner (print)	Signature of Owner	Date

**Owner's
Contact
Information**

Address		City
2579 126 Street		Surrey, B.C.
Email		Postal Code
		V4A 3P6
Phone	Cell	Fax
		


**Office Use
Only**

Date	File No.
Received By	Folio No.
Receipt No.	Fees Paid: \$



Agent

I hereby give permission for Derek Holmes to act as my/our agent in all matters relating to this application.

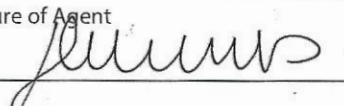
Only complete this section if the applicant is NOT the owner.

Signature of Owner 	Date <u>April 3/20</u>
Signature of Owner	Date

Agent's contact information and declaration

Name of Agent Derek Holmes		Company Holmes Mining Consultants
Address 21170 4 Avenue		City Langley
Email 		Postal Code V2Z 1T6
Phone	Cell 	Fax

I declare that the information submitted in support of this application is true and correct in all respects.

Signature of Agent 	Date March 31, 2020
---	-------------------------------

Details of Aggregate Removal and Processing (attach additional information as required)

Property Size 83.61 ha (m² or ha) Existing Land Use Forestry

Start Date Existing Operation Term (duration) 125 years

Total Volume of Aggregate to be removed 50,000,000

Estimated Annual Volume of Aggregate to be removed 249,999

Method of Aggregate Removal Pit run will be mined from the face by wheel loader or excavator.

A dozer may be used to push material and slope the face.

(use separate sheet if necessary)
Details of Processing Activities The pit run gravel will be screened, crushed and washed on site.

Settling ponds will be used for to catch wash and rainwater and settle out fines for re-use.

(use separate sheet if necessary)

Name of Coordinating Professional James Derek Holmes

A Coordinating Professional is only required if the volume of aggregate removed in any 12 month period will exceed 5,400 cubic metres. If a Coordinating Professional is required, please provide completed "Schedule B-1 Confirmation of Commitment" from Bylaw 1181.

Provincial Requirements

Mines Permit

Please indicate whether a Mines Permit under the Mines Act has been issued for proposed aggregate removal and processing

yes ☒ Mines Permit No. G-7-235 no ☐

Riparian Areas Regulation

Please indicate whether the development proposal involves excavation, land alteration, soil removal, vegetation removal, construction, or other activities or works within:

yes ☐ no ☒ 30 metres of the high water mark of any water body, or

yes ☐ no ☒ a ravine or within 30 metres of the top of a ravine bank.

'Water body' includes; 1) a watercourse, whether it usually contains water or not; 2) a pond, lake, river, creek, or brook; 3) a ditch, spring, or wetland that is connected by surface flow to 1 or 2 above. Under the Riparian Areas Regulation and the Fish Protection Act, a riparian area assessment report may be required before this application can be approved.

Contaminated Sites Profile

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed "Site Profile" for properties that are or were used for purposes indicated Schedule 2 of the *Contaminated Sites Regulations*. Please indicate if:

yes ☐ no ☒ the property has been used for commercial or industrial purposes.

If you responded 'yes,' you may be required to submit a Site Profile. Please contact the FVRD Planning Department or the Ministry of Environment for further information.

Archaeological Resources

Are there archaeological sites or resources on the subject property?

yes ☐ no ☒ I don't know ☐

If you responded 'yes' or 'I don't know' you may be advised to contact the Archaeology Branch of the Ministry of Forests, Land & Natural Resource Operations for further information.

Required Information for New Permits

	Required	Details
Survey Plan of Properties	✓	Surveyed plans showing the lands subject to the permit
Mine Plan Information	✓	Detailed descriptions, plans, and specifications endorsed by the coordinating professional in relation to the land on which the aggregate removal and any proposed processing is to be undertaken including:
	✓	The location of the proposed aggregate removal and any proposed processing on the land, including the dimensions of the proposed permit area
	✓	the location of all relevant existing features of the land, including watercourses, buildings, structures, improvements, machinery and equipment, driveways, roads, lanes, bridges, retaining walls, drainage facilities, sewage disposal systems, wells, water systems and other utility works
	✓	The proposed location on the land of all buildings, machinery, equipment, and other structures and improvements to be constructed or installed for the purposes of the removal or processing of aggregate during the term of the permit
	✓	The proposed method of screening the permit area by landscaping, berming or otherwise, in order to comply with this bylaw
	✓	The proposed location and dimensions on the land of buffer zones, tree cover, and berms, fences, and other landscape screens
	✓	The proposed locations of access to the parcel during the term of the permit
	✓	The location and configuration of proposed stockpiles and measures proposed to maintain stockpiles so as not to adversely affect buffer zones or adjacent land
	✓	Descriptions and plans approved by a Registered Professional in relation to the condition of the permit area upon expiry or completion of the permit addressing the following:
	✓	The proposed access to the parcel upon expiry of the permit
	✓	The proposed use of the parcel upon expiry of the permit
	✓	Where the land is in a floodplain or is identified in an official community plan as subject to flooding, debris flow, avulsion or erosion, the proposed reclamation measures to address these risks.
Reports	Community Areas	If aggregate removal or processing will be on land within a Community Area, a noise control plan prepared by a qualified registered professional. See Sections 25(a) and 57 and Schedule "A" of Bylaw 1181.
	Community Areas	If aggregate removal or processing will be on land within a Community Area, a dust mitigation plan prepared by a qualified registered professional. See Sections 25(b) and 57 and Schedule "A" of Bylaw 1181.
	✓	A communications plan that addresses how the permit holder will communicate with the surrounding community.
	TBD	If aggregate removal or processing is or will be on land within a Community Water System Protection Area, a drinking water assurance plan prepared by a qualified registered professional. See Section 26 of Bylaw 1181.
Coordinating Professional	TBD	If the volume of aggregate removed in any 12 month period will exceed 5,400 cubic metres, the name of the coordinating professional and the Confirmation of Commitment signed by the owner and the coordinating professional (Schedule B-I of Bylaw 1181).

The personal information on this form is being collected in accordance with Section 27 of the *Freedom of Information and Protection of Privacy Act*, RSBC 1996 Ch. 165 and the *Local Government Act*, RSBC 2015 Ch. 1. It will only be collected, used and disclosed for the purpose of administering matters with respect to planning, land use management, soil removal and related services delivered by the FVRD. Questions about the use of personal information and the protection of privacy may be directed to the FVRD Privacy Officer at 45950 Cheam Avenue, Chilliwack, BC V2P 1N6, Tel: 1-800-528-0061 FOI@fvrld.ca.

FRASER VALLEY REGIONAL DISTRICT
Commercial Gravel Operations
Bylaw No. 1181, 2014

SCHEDULE "B-1"

CONFIRMATION OF COMMITMENT BY PERMIT HOLDER AND BY COORDINATING PROFESSIONAL

Date: February 10, 2020

To: Chief Administrative Officer
Fraser Valley Regional District
1 - 45950 Cheam Avenue
Chilliwack, B.C. V2P 1N6

Dear Sir or Madam:

Re: Statlu Pit, 11km Chehalis FSR, Harrison Mills, B.C.

address and nature of the project (print)

The undersigned has retained J. Derek Holmes - Holmes Mining Consultants
as a *coordinating professional* to coordinate the design work, *field reviews*, monitoring,
reporting, and certification required for the project in order to ascertain that the project will
comply with FVRD Commercial Gravel Operations Bylaw No. 1181, 2014 and remains in
compliance throughout the duration of the operation.

"*Field reviews*" are defined to mean those reviews of the work at a project site of a
development to which a permit relates that a *registered professional* in his or her professional
discretion considers necessary to ascertain whether the work substantially complies in all
material respects with the plans and supporting documents prepared by the *registered
professional* for which the *permit* is issued.

A *coordinating professional* must be retained by the permit holder throughout the period of
the permit.

The *permit holder* and the *coordinating professional* have carefully read FVRD Commercial
Gravel Operations Bylaw No. 1181, 2014. The *permit holder* and the *coordinating professional*
acknowledge their responsibilities, including their responsibility to each notify the addressee of
this letter of the date the *coordinating professional* ceases to be retained or, if that is not
possible, then as soon as possible.

The *permit holder* and the *coordinating professional* understand that where the *coordinating
professional* ceases to be retained at any time during construction, a new *coordinating*

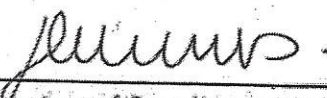
professional will be retained as quickly as possible and a new letter in the form set out in Schedule "B-1" will be filed with the Regional District.

The undersigned *coordinating professional* certifies that he or she is a *registered professional* retained as the *coordinating professional* as defined in Fraser Valley Regional District Commercial Gravel Operations Bylaw No. 1181, 2014.

Coordinating Professional

Derek Holmes

Coordinating Professional's Name (Print)


Signature of Coordinating Professional

February 10, 2020

Date

21170 4 Avenue

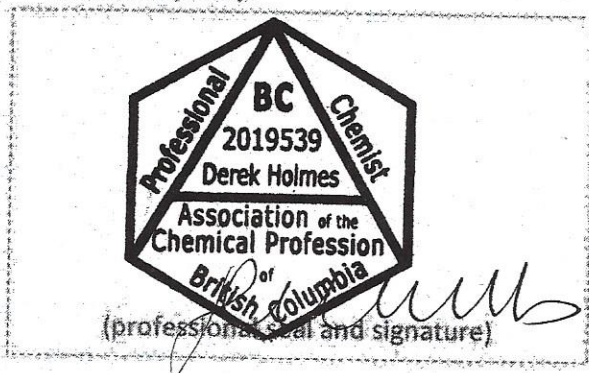
Address (Print)






Aggregate Consulting Services

Occupation (Print)



Permit Holder

Statlu Resources Inc
Permit Holder's Name (Print)


Signature of Permit Holder or appointed agent. (If the permit holder is a corporation, the signature of a signing officer must be given. If the signature is that of the agent, a copy of the document that appoints the agent must be attached.)

Feb. 10/20
Date

Grant Johnston, Director

Name of Agent or Signing Officer, if applicable (Print)



Address (Print)





If the Registered Professional is a member of a firm, complete the following:

I am a member of the firm _____
(print name of firm)

and I sign this letter on behalf of the firm.

This letter must be signed by the *permit holder* and by the *coordinating professional*. An agent's letter of appointment must be attached. If the *permit holder* is a corporation, the letter must be signed by a signing officer of the corporation and the signing officer must set forth his or her position in the corporation.

FVRD Commercial Gravel Operations Bylaw No. 1181, 2014, defines a *coordinating professional* to mean a registered professional engineer with expertise in mining engineering designated by the permit holder to coordinate applications and review and report on compliance with FVRD Bylaw No. 1181 and *permit* conditions.

- Note:
1. This letter must be submitted before issuance of a Permit.
 2. In this letter the words in italics have the same definition as in the FVRD Commercial Gravel Operations Bylaw No. 1181, 2014.

END of Schedule "B-1"

FRASER VALLEY REGIONAL DISTRICT
Commercial Gravel Operations
Bylaw No. 1181, 2014

SCHEDULE "B-2"

STATEMENT OF ASSURANCE BY REGISTERED PROFESSIONAL

To: Chief Administrative Officer
Fraser Valley Regional District
1 - 45950 Cheam Avenue
Chilliwack, B.C. V2P 1N6

Date: February 20, 2020

Dear Sir or Madam:

Re: Statlu Aggregate Pit, 11km Chehalis FSR, Harrison Mills, B.C.

nature of the proposed works (print)
Pit run excavation, screening, crushing, washing and loading for transport

For the property:

Civic Address: 11 KM CHEHALIS FOREST SERVICE ROAD

Legal Description: THAT PART OR TRACT OF LAND IN THE VICINITY OF CHEHALIS RIVER, GROUP 1, NEW WESTMINSTER DISTRICT CONTAINING 83.61 HECTARES, MORE OR LESS

PID: N/A

With reference to (check one):

- ☒ Noise Control Plan
☒ Dust Mitigation Plan
☒ Drinking Water Assurance Plan
☐ Other: _____

I have signed, sealed and dated, and thereby certified, the attached report in accordance with good engineering practices, professional standards, and the requirements of FVRD Commercial Gravel Operations Bylaw No. 1181. The report must be read in conjunction with this statement. In preparing the report, I have:

check to the left of applicable items

- ☒ 1. Collected and reviewed appropriate background information
☒ 2. Reviewed the proposed works and development on the property or land

- ☒ 3. Conducted field work on and, if required, beyond the property
- ☒ 4. Reported on the results of the field work on and, if required, beyond the property
- ☒ 5. Considered any changed conditions on and, if required, beyond the property

6. For a Noise Control Plan I have:

- ☒ 6.1 Identified sources of noise within the aggregate operation
- ☒ 6.2 Identified mitigation measures specific to noise sources
- ☒ 6.3 Identified and, as required, designed measures to prevent the transmission of noise exceeding the standards of the bylaw beyond the permit area
- ☒ 6.4 Provided a noise control plan that, in the opinion of the registered professional, will result in noise levels that comply with this bylaw

7. For a Dust Mitigation Plan I have:

- ☒ 7.1 Identified sources of dust associated with the operation
- ☒ 7.2 Identified and, as required, designed, specific primary and contingency methods to control dust at each source
- ☒ 7.3 Identified general methods proposed to be used to prevent the transmission of dust from within the permit area to adjacent lands
- ☒ 7.4 Identified proposed methods to be used to monitor and report on dust emissions
- ☒ 7.5 Provided a dust mitigation plan that, in the opinion of the registered professional, will result in dust levels that comply with this bylaw

8. For a Drinking Water Assurance Plan I have:

- ☒ 8.1 Provided information about the *Community Water System drinking water source* including its location, aquifer characteristics, water quantity, physical parameters of water quality, microbiological and health-related chemical parameters of water quality and other relevant factors determined by the qualified registered professional;
- ☒ 8.2 Identified and assessed potential risks to the *drinking water source* associated with the aggregate removal or processing;
- ☒ 8.3 Made recommendations for protection of microbiological and health-related chemical parameters of water quality and the quantity of flow of drinking water sources, including recommendations for periodic monitoring, not less than annually
- ☒ 8.4 Identified proposed methods of protection of the microbiological and health-related chemical parameters quality and quantity of drinking

water sources on and adjacent to the *permit area* while *aggregate removal or processing* is being undertaken

- ✓ 8.5 Provided a drinking water assurance plan which includes a statement that, in the opinion of that *registered professional*, the measures outlined in the report will ensure that the proposed *aggregate removal or processing* will not result in a drinking water health hazard and will not reduce the quantity of flow of a drinking water source

I acknowledge and affirm that:

- Fraser Valley Regional District is relying on the report for the purposes of Commercial Gravel Operations Bylaw No. 1181;
- I will notify the Chief Administrative Officer of the Fraser Valley Regional District in writing if I become aware of any change in conditions or new information that changes the conclusion in the report or the information I have provided; and,
- I am a registered professional in good standing who is qualified in the particular area with respect to which the report relates.

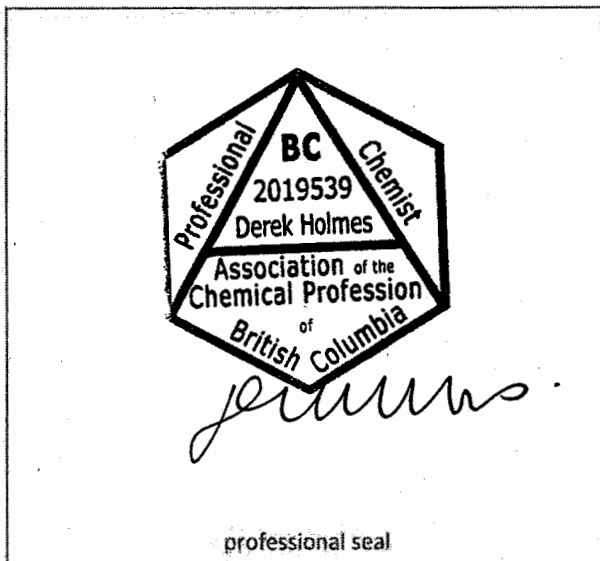
J. Derek Holmes

February 20, 2020

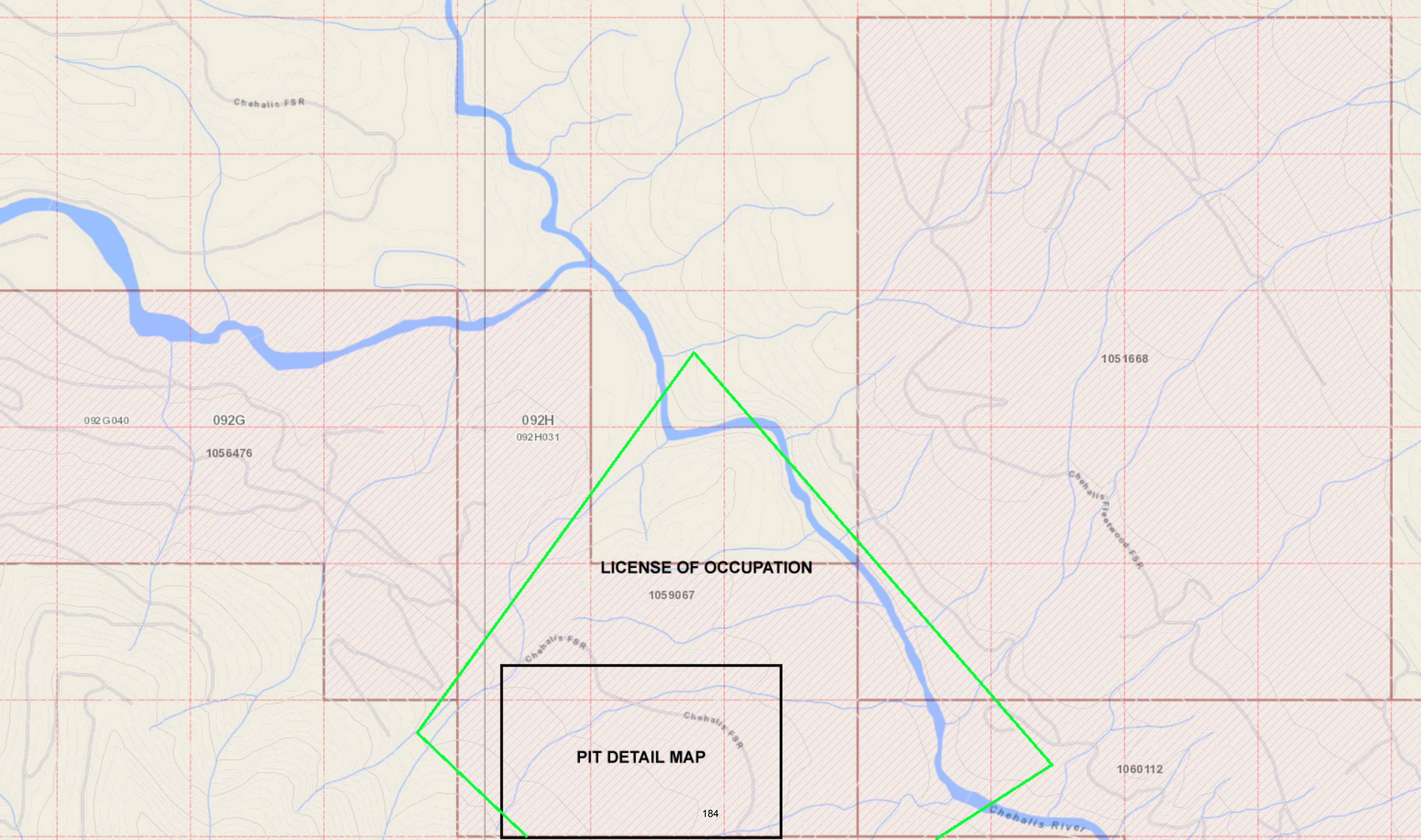
Name

Date

Signature



END of Schedule "B-2"



Chehalis FSR

092G040

092G

1056476

092H

092H031

1051668

LICENSE OF OCCUPATION

1059067

Chehalis FSR

Chehalis Fleetwood FSR

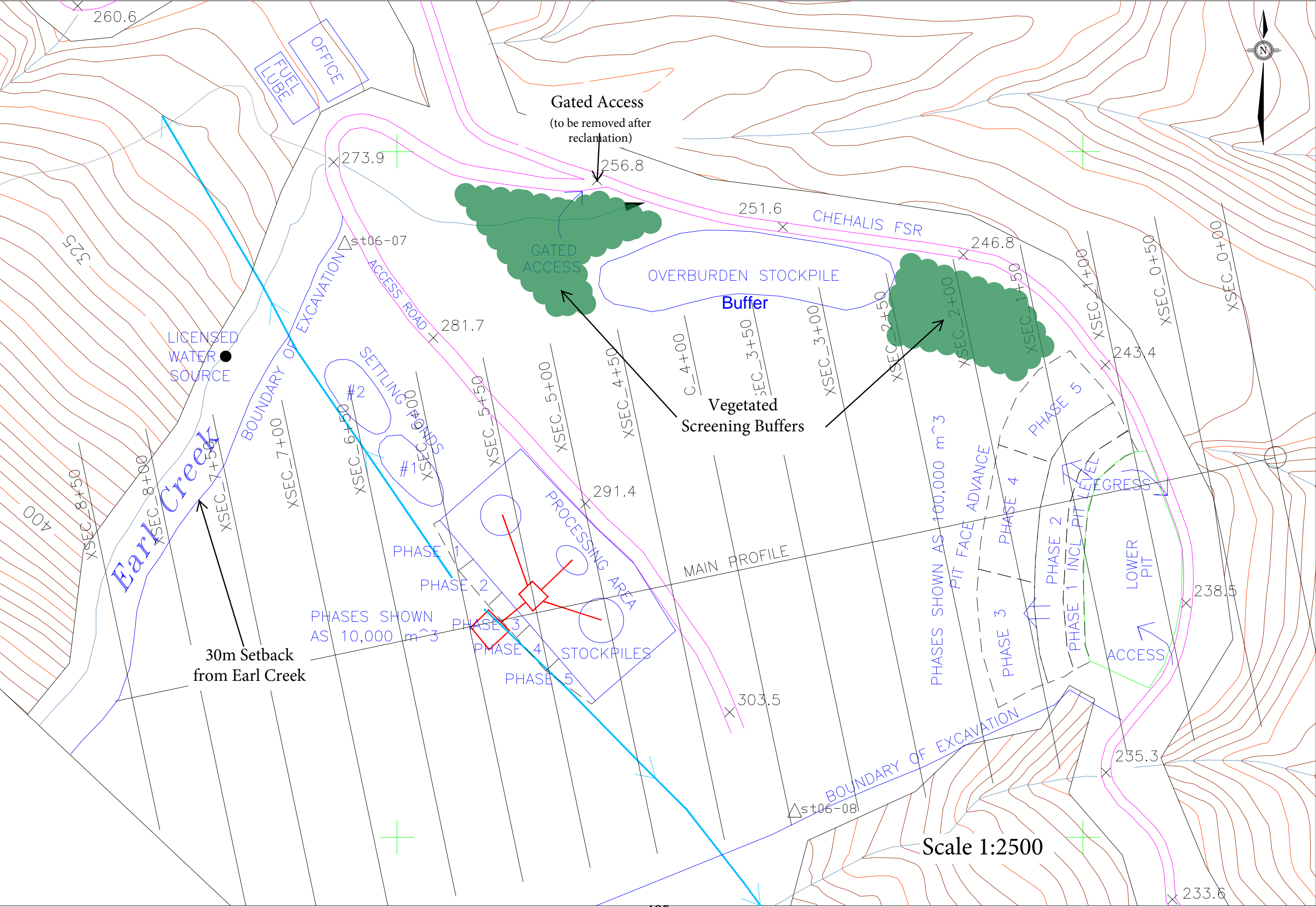
Chehalis FSR

PIT DETAIL MAP

1060112

Chehalis River

184



NOISE, DUST and WATER CONTROL PLAN

**For Statlu Pit
Harrison Mills, B.C.**



Mine No. 1610323

Mine Plan - Permit No. G-7-235

Statlu Resources Inc.

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Appendix A:

Figure 1 – Regional Map

Figure 2 – Location Map

Figure 3 – Detailed Site Plan

1.0 INTRODUCTION

1.1 Purpose and Objectives

The purpose of the Statlu Pit Noise and Dust Control Plan is to identify, implement and monitor the application of Best Management Practices (BMPs) to help reduce the fugitive noise and small particle dust related to the industrial activities at Statlu Pit of Harrison Mills, B.C. and the potential impacts on the neighbouring residential areas. Monitoring the air quality will be the onus of the proponent; however, the BMPs will be monitored by the appropriate agencies through inspections, such as but not limited to the Ministry of Energy, Mines & Petroleum Resources (EMPR) - Mines Act Permit, Ministry of Transportation & Infrastructure (MoTI) - Road Use Permit, Ministry of Forest, Lands and Natural Resources & Rural Development (FLNRORD) - Land Tenure.

The plan includes activity-specific dust control criteria and noise/dust suppression procedures that have been reviewed and agreed to by all parties. BMPs will be implemented throughout the industrial operations on an as-needed basis. This depends on the activity and the agency oversight.

2.0 BACKGROUND

2.1 Site Ownership and Physical Location

Statlu Pit is an aggregate (sand and gravel) extraction operation located in near Harrison Mills, BC. The site is located on a Crown Licence of Occupation for sand and gravel purposes held by Statlu Resources Inc. The pit is located along the Chehalis Forest Service Road approximately 11km from the intersection with Morris Valley Road near Harrison Mills.

Mine Name: Statlu Pit

Mine Number: 1610323 **Permit Number:** G-7-235

Type of Operation: Sand & Gravel

Property Location: From Agassiz travel west on Highway 7 for 15 kilometers and then turn right on Chehalis FSR. Travel north on Chehalis FSR for 12 kilometers and the entrance to the pit will be on your left

Legal Description: THAT PARCEL OR TRACT OF LAND IN THE VICINITY OF CHEHALIS RIVER, GROUP 1, NEW WESTMINSTER DISTRICT CONTAINING 83.61 HECTARES, MORE OR LESS

Site Map Location: Lat: 49.33272 Long: -121.99564

Mine Manager: Mr. Earl Wilder

Email Address: [REDACTED]

Contact Phone #: [REDACTED]

of Employees on site: 4 to 6

2.2 Description of Operations at Statlu Pit

The development plan will consist of mining operations including pit run excavation, screening, crushing, washing and loading for transport that would be typical for any small sized (aggregate) sand and gravel operation in BC.

The pit will be developed in two areas (lower and upper pit) concurrently both consisting of dozer operations and front end loader movement of material and necessary sloping as required for proper development. To maintain compliance with **Part 6.23.4** of the HSRC, the company will utilize a dozer to push down material to a maximum face height of five (5) to seven (7) meters, using the on-site mining equipment.

As indicated previously, the operation will be in compliance with the HSRC, and will utilize the following equipment – loaders, excavators, tandem dump trucks, crushing and screening plants (when required) for the excavation of pit run, crushing & mechanical screening operations and gravel washing equipment. The operation currently uses typical

equipment similar to the John Deere 644K - Front End Loader, Cat D9 - dozer, Cat 320C – excavator, tandem dump trucks, 300 TPH crusher/screening units and 150 TPH wash plant.

The mining operations will be year round with activities driven by demand for the final products. The mine will usually operate between 7:00 am to 7:00 pm during Monday to Saturday on a 10 hr day, when crushing & screening and/or washing activities are required for upgrading of the materials for commercial use. As note, there will continue to be washing of aggregate materials on-site during the tenure timeframe for production of concrete aggregate.

There will not be a requirement for an *Environmental Management Act* – Effluent Permit given that the project is not anticipated to have any effluent discharge. The control of any TSS and turbidity of any contact surface waters (if required) will be achieved through use of erosion and sediment control measures such as the existing (sediment) control pond, silt fencing and straw (hay) bales.

In regards to groundwater protection, on-site there are no indications of any shallow groundwater flows. To help protect groundwater quantity and quality from potential impacts of the proposed mining activity, no fuel storage will occur on-site during normal mining activities. If and when a large project is to be undertaken, then fuel storage will include double walled fuel tanks with appropriate additional protection. As well, there will be adequate training for on-site personnel with the emergency response equipment and supplies (spill kits) that are available for use when and if required during fueling.

2.3 Environmental Considerations

The development is not expected to have any environmental and/or socio-community impacts given its relatively small size and location far from any residential development. The project is not anticipated to have any effluent discharge, and it will be developed in an environmentally sensitive manner by implementing BMPs in order to either eliminate or minimize any environmental impacts that might occur from the operational areas.

a. Land Considerations

The pit boundaries are surrounded by mixed treed, upland vegetation that is dense in nature. There is some treed vegetation present in the areas close to Chehalis FSR that act as a visual buffer as well as the natural slopes and elevations of the pit. As the pit floor is lowered, berms will continue to be maintained along the perimeter of the excavation to shield noise, dust and visual impacts.

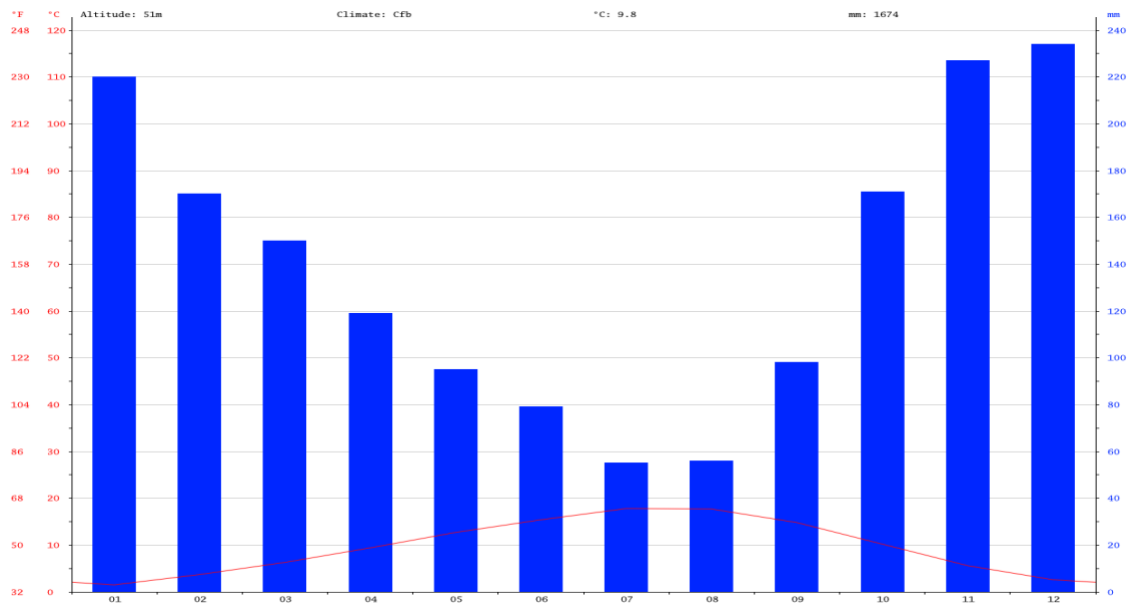
b. Atmospheric Considerations

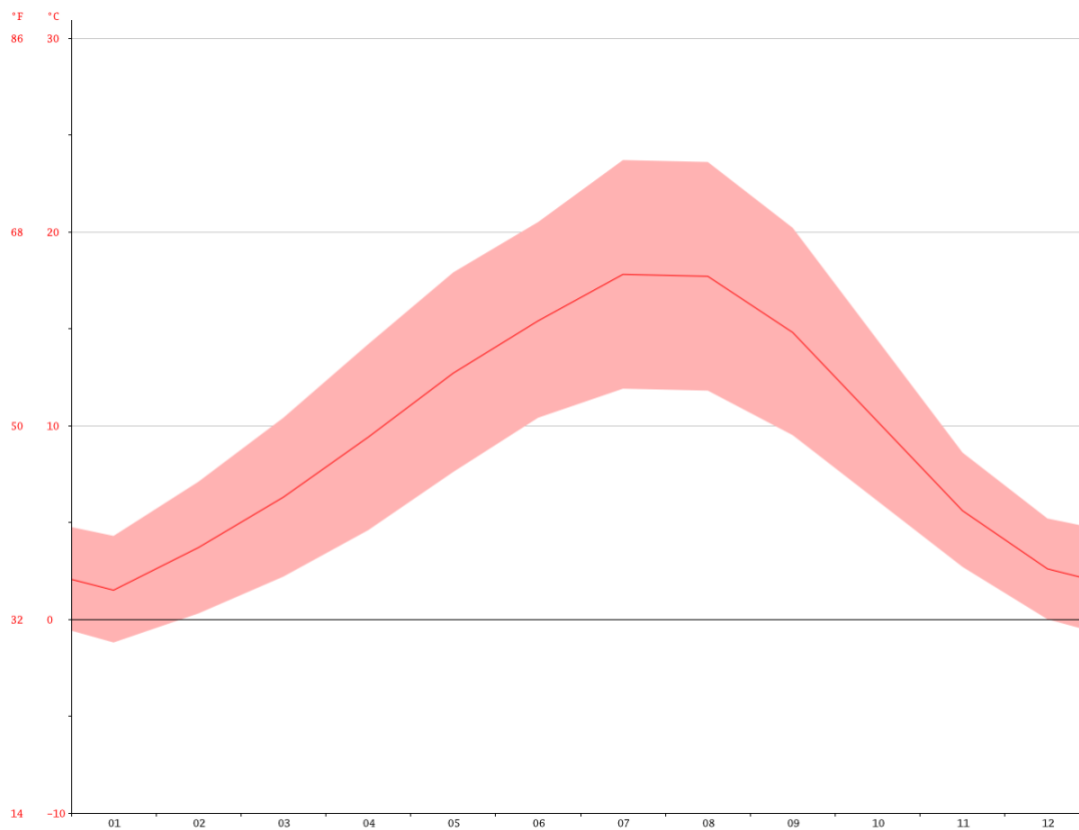
Climate

Harrison Mills lies 51m above sea level. The climate here is mild and generally warm and temperate. The rainfall in Harrison Mills is significant, with significant precipitation even during the driest month. The Köppen-Geiger climate classification is Cfb. The average annual temperature in Harrison Mills is 9.8 °C. The total rainfall here is around 1674 mm.

Precipitation is the lowest in July, with an average of 55 mm. In December, the precipitation reaches its peak, with an average of 234 mm.

As seen in the following graph of average temperature and average rainfall, the Statlu pit is in a very wet area. Dust considerations will be partially mitigated by the cool, wet atmospheric conditions for the most part. During the hotter months of summer when rainfall occurrences may be farther apart water can be added to road surfaces and at crushing and transfer points where appropriate to continue mitigating fugitive dust. Windy days may also contribute to dust movement and the manager must be vigilant during these potential conditions to ensure public and worker safety.





Atmospheric Effects

Atmospheric impacts have been minimal from equipment emissions and/or fugitive dust during operations based on data recording devices located on-site.

It is expected that during operations and future reclamation activities there will be minimal impacts / insignificant effects (such as deterioration of air quality or reduced visibility due to diesel or fugitive dust emissions) on and from the site.

However, to assist with reducing atmospheric effects Statlu will undertake the following steps:

- Use modern construction (mining) equipment that meets latest applicable Canadian emission standards;
- Ensure proper inspection and maintenance of equipment;
- Operate equipment within specifications and capacity;
- Limit vehicle and construction equipment idling;
- Use low sulphur fuels for all diesel equipment;
- Revegetate parts of the development that will not be disturbed in the future;

- Clear only the trees needed for mining in that particular area;
- Develop a planned site layout (minimize creation), operational controls (control escape); air quality (dust removal) and cessation, to manage and mitigate any generated fugitive dust; and
- Maximize use of and commitment to Best Management Practices such as following the guidelines set forth by the “*Aggregate Operators Best Management Practices Handbook for British Columbia (April, 2002)*”.

http://www2.gov.bc.ca/assets/gov/farming-natural-resources-and-industry/mineral-exploration-mining/documents/permitting/agg_bmp_hb_2002vol2.pdf

2.4 Location Map & Facility Site Map

Refer to Figures 1 - 3 in Appendix A.

3.0 Best Management Practices - Dust

Proactive controls will be instituted at Statlu Pit to reduce the amount of dust generation during any site activities. The following Statlu Pit processes, operations or equipment have the potential to emit dust (refer to Figure 3 for visual reference):

1. Haul roads (vehicle traffic)
2. Stockpile areas
3. Transfer points (drops)
4. Processing (crushing, screening, etc.)
5. Extraction (process)
6. Disturbed areas with sands or fines

Best Management Practices (BMPs) represent the current ‘state of practice’ approach to manage dust impacts and effects, and at the Statlu Pit include, but are not limited to:

- Limit surface areas disturbed, limit work in the wind thresholds greater than 20 km/hour, apply suppressant as needed, and clean up spills immediately;
- Grow groundcover, erect windbreaks, apply crust chemicals;
- Reduce speed limits;
- All trucks leaving the site will be covered by a tarp;
- Placement of the crusher will be in the bottom of the pit;
- Crushers will be equipped with effective water sprays;
- Area not being mined or used for stockpiling will be seeded with a local forestry range mix;

- A maximum material drop height is not to exceed 1 meter, minimize where possible and should use chutes;
- In cases of a wind event or extreme heat and should the referenced measures be inadequate, operations will stop until the dust is managed effectively. This is described in Section 4.3;
- Vegetated buffer around perimeter of site;
- All personnel will be notified of the Dust Control Plan.

Refer to Table 1 in Section 3.1 for recommended BMPs specific to Statlu Pit.

3.1 Site Specific Mitigation and Control Methods - Dust

In order to achieve an effective operational dust control plan at Statlu Pit, site specific mitigation measures and BMPs have been prescribed to address specific dust generating sources and activities.

Table 1 - Monitoring, Mitigation & Control Methods

Source	Monitoring	Methods for Management & Mitigation (based on BMPs)	Materials & Equipment Needed
Vehicle Traffic (access or haul roads within Statlu Pit)	Visual inspection for dusty conditions shall occur at a minimum of twice daily.	<ul style="list-style-type: none"> • Water roads or use surfactants (calcium chloride). • Wheel washer. • Wash down trucks. • Pave high use areas, where possible. • Speed within mine site to be less than 30 km/hr. • Post km/hr signage indicating dust control. • Limit work on windy days. 	<ul style="list-style-type: none"> • Water truck. • Calcium Chloride. • Signage.
Stockpile areas (aggregate, topsoil/overburden)	Visual inspections shall be carried out hourly.	<ul style="list-style-type: none"> • Keep storage piles covered either with a dust suppressant spray. • Treat stockpiles. Seed overburden stockpiles with local native grass mix to reduce dust and prevent noxious weeds. • Progressive reclamation; re-sloping mined out pit walls and re-establishing soil cover and immediate re-vegetation or cover. • Minimized stockpiling. 	<ul style="list-style-type: none"> • Dust suppressant spray. • Local native grass seed mix.
Drops (at transfer stations)	Should be monitored hourly when there is dry weather and winds are anticipated to be blowing	<ul style="list-style-type: none"> • Limit work on windy days. • Install chutes at drop points. • Maximum dump heights not to exceed 1 m, minimize where possible and should use chutes. 	<ul style="list-style-type: none"> • Chutes

	towards residential areas (east).	<ul style="list-style-type: none"> Enclosing transfer points along conveying circuits where dust may be created and apply sprays. 	
Processing (feeds and discharges for conveyors, crushers, screens, etc.)	Should be monitored hourly when there is dry weather and winds are anticipated to be blowing towards residential areas (east).	<ul style="list-style-type: none"> Spray bars on crushers and conveyors; watering rate set as needed. Screenings and other high-fine materials: stackers to be kept as close to the tops of stockpiles (drop height of 1 m or less). 	<ul style="list-style-type: none"> Spray bars
Excavation (working pit face, berm construction, rehabilitation)	Should be monitored hourly when there is dry weather and winds are anticipated to be blowing towards residential areas (east).	<ul style="list-style-type: none"> Avoid overburden removal and berm construction during dry months. Passive dust suppression - no operations on hot, windy days. 	<ul style="list-style-type: none"> Weather forecast. Visual monitoring.
Weather and dust events	Refer to text below [^] . The site is located in a wilderness area, so it will be surrounded by remaining forest which will act as a natural buffer.		

Water sprays:

1. Adjust nozzles so that the spray is directed to dust generating areas to provide complete coverage.
2. Locate nozzles upstream of dust generation points and close enough so that the spray is not carried away by wind.
3. Ensure the volume and size of droplets are adequate to sufficiently wet the material (optimal droplet size is 10-150 µm).
4. Time water spray application to ensure the materials are still damp when they are disturbed
5. If conditions require increased dust suppression, emulsifiers or surfactants may be added to improve the 'wettability' of water sprays.

*Application of dust suppressants must not enter or contaminate waterbodies, including surface and groundwater.

Weather and dust events create significant hazards to the control of dust management, and it may be that these events superseded the normal dust control methods in Table 1. At certain thresholds (including those climatic conditions listed in Section 4.3), pit activities that are producing visible dust and impacting neighbourhoods should be halted or ceased (with a plan to ensure stockpiles are protected), especially when mitigation techniques are no longer appropriate or effective. Dust events and the required actions are to be recorded (as per Table 2 in Section 4.4).

The Mine Manager must ensure that wherever practicable, water sprays or other dust suppression means and devices are used at every dusty place where work is carried out and where it is impracticable to do so, personal protective equipment shall be supplied and worn by all persons working in that location, as per the Health, Safety and Reclamation Code for Mining, Section 6.24.2.

3.2 Prevention

Prevention or reduction of the amount of dust generation during site activities can be achieved through proactive controls including, but not limited to:

- Limiting surface disturbance;
- Enforcement of low speed limits for vehicle traffic;
- Decontamination of trucks leaving work areas;
- Covering of truck loads leaving the facility;
- Height limits for gravel stockpiles;
- Wetting active areas;
- Spraying conveyors and stockpiles;
- Minimizing drop heights;
- Minimizing or ceasing dust generating activity during periods of high wind;
- Wetting unpaved areas;
- Application of dust suppressants or crusting agents;
- Establishing/maintaining vegetative or other groundcover.

3.3 Site Specific Mitigation and Control Methods – Noise

Statlu is committed to ensuring that all noise management and mitigation measures will follow the guidelines set forth by the “*Aggregate Operators Best Management Practices Handbook for British Columbia (April, 2002)*”.
<http://www.empr.gov.bc.ca/Mining/Aggregate/BMP/Pages/default.aspx>

General noises that are associated with a number of common activities at aggregate operations include:

- Loading
- Crushing
- Screening
- Hauling

Noises from specific sources that will need to be mitigated during operations include the following: mobile equipment (truck, dozers and excavators) which generate noise from sources such as diesel engines, back-up alarms and the scraping & crushing noises during excavation and transport.

It will be through a planned site layout (containment & dampening), operational controls (prevention) and interception (ambient reduction), were the company is confident it can manage and mitigate the generated noises. Statlu will continue to ensure the following management and mitigations are implemented as required to minimize noise impacts:

- Develop a mine plan which has designed sound buffers such as treed buffers, soil stockpiles and development of pit walls that will dampen noises;
- Examine noise mitigation strategies at other aggregate operations, which have similar requirements for noise reduction;
- Maintain a maximum 30 km speed limit along access roads and within the pit areas;
- Maintain smooth running roads surfaces on all access roads and pit floors to reduce tire noise;
- Operate equipment within specifications and capacity (e.g. don't overload machines) and use noise abatement accessories such as sound hoods and mufflers;
- All efforts during operations will be to have the placement of the short term crusher operation in the bottom of the pit, in order to decrease potential noise escapement;

4.0 PLAN IMPLEMENTATION

4.1 Roles and Responsibilities

While not all site personnel will be directly involved in implementation of the plan, all site personnel should be aware that the plan exists and to contact the Mine Manager in the event that they observe a potential dust or noise concern during the course of their

regular activities. Training in this regard should occur to introduce new employees and contractors to the plan and to refresh all employees/contractors regularly.

The Mine Manager will delegate staff to be responsible for the monitoring and management of the dust and noise control. The Mine Manager will determine the frequency of monitoring procedures to be put in place based on triggers for potential dust sources: such as seasonal (e.g. dry) or operational (e.g. crusher on site) conditions, and using BMPs as a guide.

The Mine Manager is responsible for reviewing this Dust and Noise Control Plan on an seasonal basis for consistency and relevancy, if there is a significant operational change, or if reviews or inspections indicate that dust and noise management practices do not meet requirements.

4.2 Monitoring

Monitoring will be on the onus of the Mine Manager and will include:

- Visual inspection for dusty conditions shall occur at a minimum of twice daily;
- Visual inspections shall be carried out hourly when overburden removal, berm construction or rehabilitation;
- Inspection of dust controls functioning properly, such as watering and if chutes are effective;
- Excavation and loading operations should be monitored hourly when there is dry weather and winds are anticipated to be blowing towards residential areas (east);
- Site manager or delegate will be responsible for monitoring current conditions and weather forecasts from Environment Canada, to subsequently help plan for current and next day watering needs and other measures;
- Records regarding when and how dust control measures are implemented must be kept on site. These records must include and not be limited to: watering on roads, visible dust observed, meteorological conditions for that day.
- Checking whether excessive noise is noted at the property lines
- Ensuring equipment mufflers and hoods are installed and working properly
- Monitoring equipment for worn chute liners or excessive drop heights
- Smooth road surfaces
- Berms maintained around new working areas

4.3 Triggers for Dust Management Mitigation

Visual cues will be the primary trigger for mitigation action to be taken. Typical triggers of employing dust control measures would be:

- If material handling activities are occurring that may impact air quality beyond the property boundary;
- If visible dust is being generated beyond the property boundary by material handling activities, and/or stockpiles;
- If the weather forecast indicates dry conditions and strong winds are likely.

In addition to specific site features which may generate fugitive dust, consideration should also be given to specific climatic conditions which cause dust. These conditions or unusual weather or dust events can include, but not be limited to:

- Temperatures over 30 degrees Celsius;
- Consistent wind speeds over 30 km/hour;
- Temperature inversions and/or cloud cover creating poor air quality.

4.4 Record Keeping

The following tables are to be used for record keeping and include a record of dust events and responses (Table 2), and a complaint tracking tool (Table 3).

Table 2 - Dust Events and Response:

Date	Name (staff member responsible)	Dust Event (details; time, source, weather, etc.)	Mitigation and Response (details)

Table 3 - Complaint Tracking Tool:

Date	Source of complaint (name, organization, contact details, etc.)	Complaint specifics (who took the complaint, what was the issue, what was done, follow up, etc.)

Appendix A - Figures
Figure 1

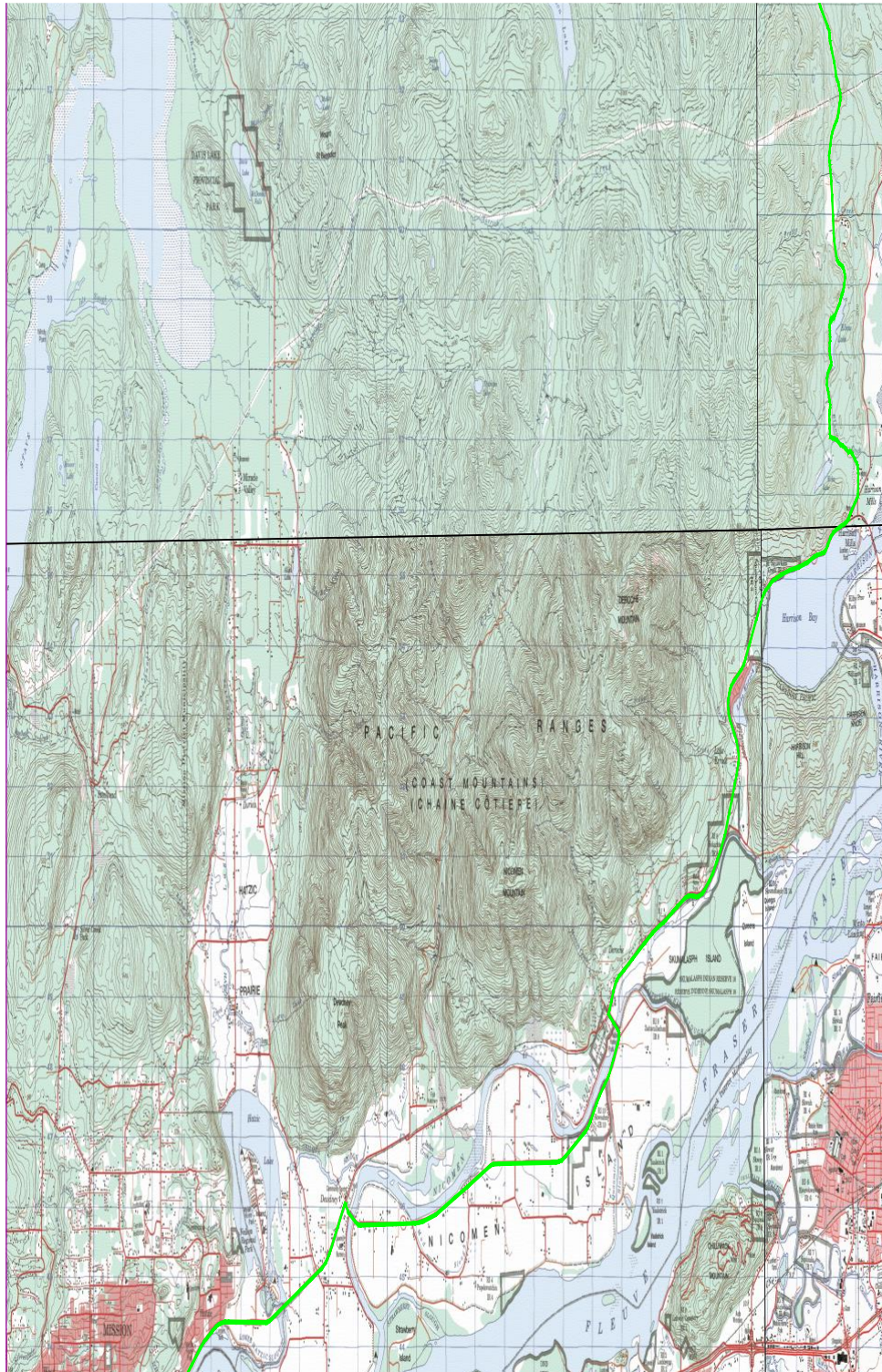


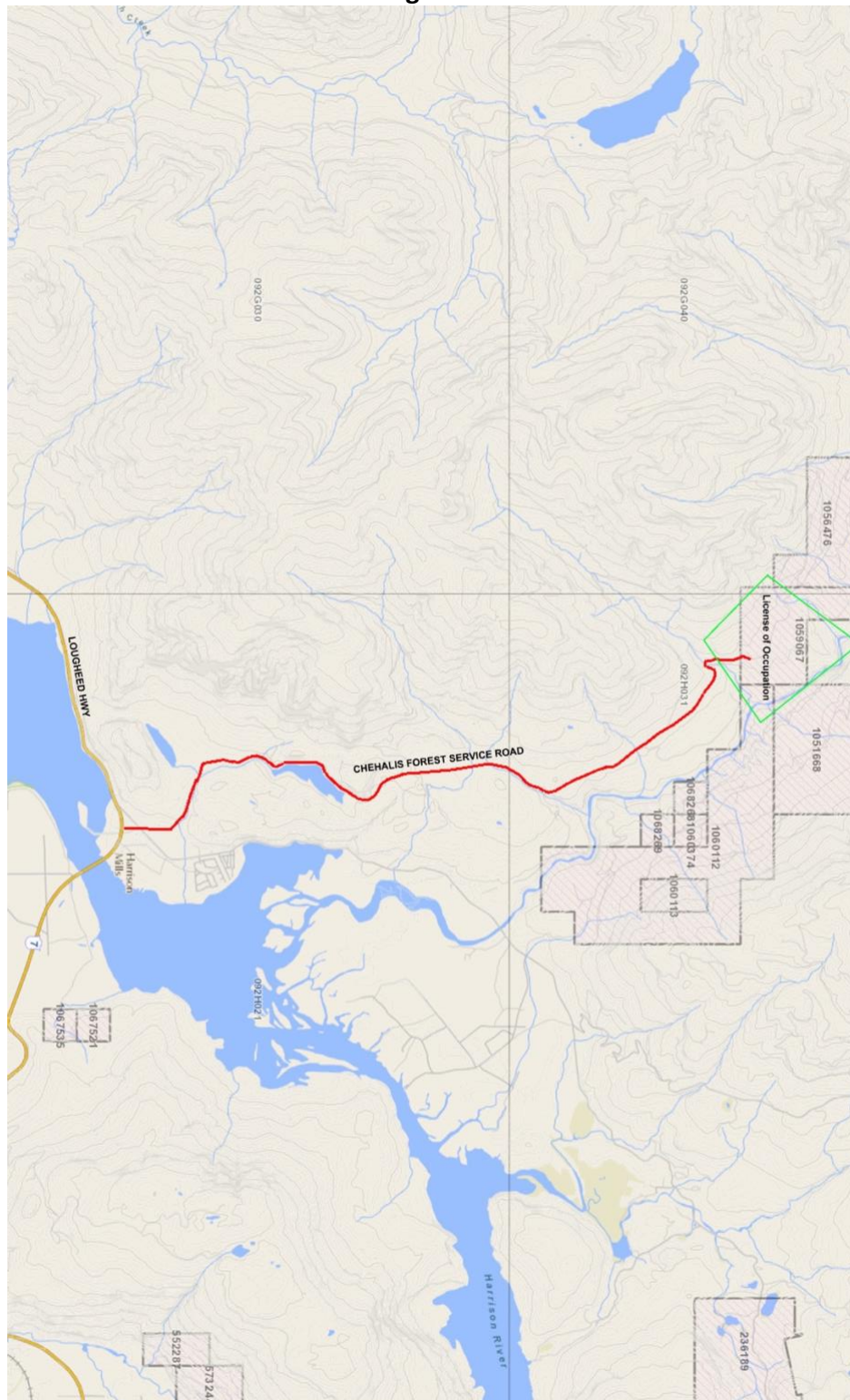
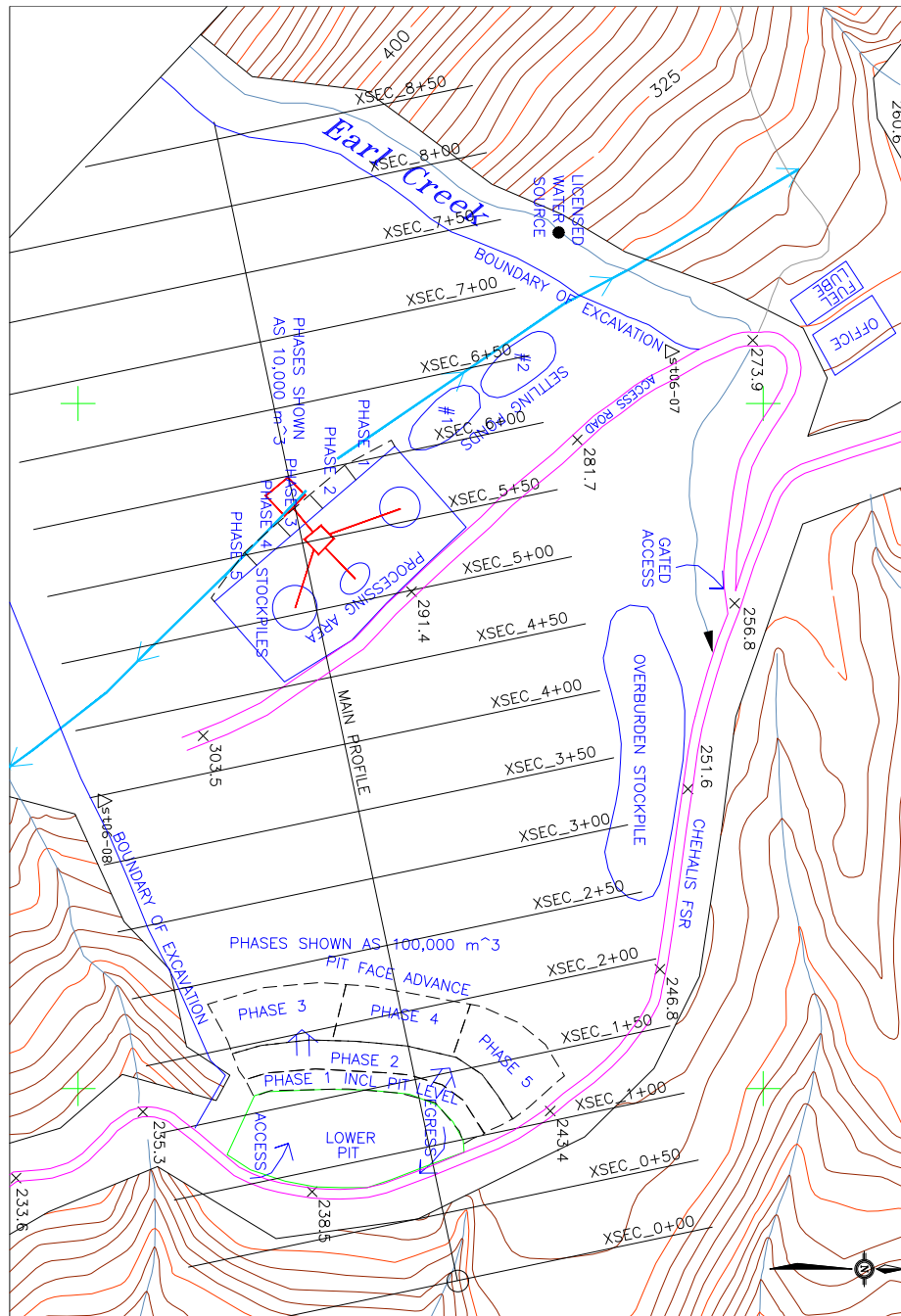
Figure 2

Figure 3





Notice of Work

Sand and Gravel Pit

Application ID:1765

APPLICANT COMPANY/ORGANIZATION CONTACT INFORMATION

Name STATLU RESOURCES INC.
Contact Name Grant Johnston
Phone [REDACTED]
Email [REDACTED]
Mailing address 2200 HSBC BUILDING
885 WEST GEORGIA STREET
VANCOUVER, BC V6C3E8
CANADA

AGENT INFORMATION

Name: Derek Holmes
Phone: [REDACTED]
Email: [REDACTED]
Mailing Address: [REDACTED]
Letter(s) Attached: Yes (signed agency letter.pdf)

TECHNICAL INFORMATION

APPLICATION INFORMATION

Type of notice of work: Sand and Gravel Pit
Is this a New Permit or an Amendment to an existing permit for this property? Amendment

MINE INFORMATION

Do you have an existing mine number? Yes
Mine Number: 1610323
Name of the Property: Statlu Pit
Tenure Numbers: 242421
Crown Grant / District Lot numbers:
Detailed directions to the site: From Agassiz travel west on Highway 7 for 15 kilometres and then turn right on Chehalis Forest Service Road. Travel north on Chehalis FSR for 12 kilometres and the entrance to the pit will be on your left.
Geographic Coordinates of Mine: Latitude: 49.33272
Long: -121.99564
Maximum Annual Tonnage Extracted: 249,999

PROPOSED ACTIVITIES

Activities to be undertaken: Sand and Gravel Quarry Operations
Settling Ponds

FIRST AID

Proposed First Aid equipment on site: Level 1 First Aid Kit
Level of First Aid Certificate held by Occupational First Aid Level 1 with Transportation Endorsement

attendant:

DESCRIPTION OF WORK PROGRAM

Clearing, grubbing then stripping and stockpiling of overburden and topsoil to expose the pit run. Pit run will then be excavated with wheel loaders and excavators and loaded on to the processing equipment. Screening, washing and crushing of the material to meet customer orders and stockpiled using conveyors on site. Finished product will be loaded on to customer trucks for delivery.

TIME OF PROPOSED ACTIVITIES

Proposed start and end date: Apr 01 2019 to Mar 31 2024

Please remember that you need to give 10 days notice to the Inspector of Mines of your intention to start work, and 7 days notice of your intention to stop work.

ACCESS

Is access presently gated? Yes

Key provided to the Inspector? No

Be sure to provide the inspector with a key to the gate.

PRESENT STATE OF THE LAND

Present condition of the land: The site is presently a sand and gravel pit with part of the licence area cleared. Other parts of the licence area are treed. The surrounding uses are forestry.

Type of vegetation: Conifers throughout the area, some underbrush and newly planted areas surrounding the site.

Physiography: No wetlands are present.

Current means of access: The current access to site is via Chehalis Forest Service Road

Old equipment or buildings: None. All equipment is presently being used for the existing operation

Recreational trails/use: None

ACCESS TO TENURE

Do you need to build a road, create stream crossings or other surface disturbance that will not be on your tenure? No

LAND OWNERSHIP

Application area in a community watershed: No

Proposed activities on private land: No

Any proposed activities on Crown land: Yes

Have License of Occupation: Yes

License of Occupation number(s): 242421

Activities in a park: No

CULTURAL HERITAGE RESOURCES

Are you aware of any protected archaeological sites that may be affected by the proposed project? No

FIRST NATIONS ENGAGEMENT

Have you shared information and engaged with First Nations in the area of the proposed activity? Yes

First Nations Engagement activities: There is an Impact and Benefits Agreement with the Chehalis Indian Band.

Aware of cultural heritage resources in the area where the work is proposed: No

SETTLING PONDS**Waste water treatment facility description:**

The ponds are a series of trenches and pools where sediment is gradually settle as water moves from one to another. Earl Creek is approximately 200m from the closest pond. Fresh water is used from a water licence (124923) on Earl Creek as make-up water and water is re-cycled to the extent possible from the pond 3.

ACTIVITIES

Pond Id	Width (m)	Length (m)	Depth (m)	Disturbed area (ha)	Merchantable timber volume (m³)
1	17.00	100.00	3.00	0.17	0.00
Water Source:		run-off and wash plant			
Construction Method:		excavated			
2	18.00	100.00	3.00	0.18	0.00
Water Source:		pond 1			
Construction Method:		excavated			
Totals				0.35	0.00

Disposal of fines from clean out:

Fines from clean out are mixed with the overburden stockpiles to be used in reclamation.

Water from ponds will be:

Recycled: Yes
Exfiltrated to Ground: No
Discharged to Environment: No

RECLAMATION PROGRAM**Reclamation and timing for this specific activity:**

Ponds will be eventually excavated as they sit above the final reclamation elevation. They will be eliminated once mining reaches them.

Estimated cost of reclamation of activities described above:

0.00

SAND & GRAVEL / QUARRY OPERATIONS**SOIL CONSERVATION**

Average depth of overburden (m): 0.5

Average depth of topsoil (m): 0.3

Measures to stabilize soil overburden stockpiles and control noxious weeds:

Overburden stockpiles have been seeded with a grass mix and are regularly monitored to control noxious weeds.

LAND USE**Is the site within the Agricultural Land Reserve?**

No null

Local government has a Soil Removal Bylaw?

No

Official Community Plan for the site is:

Forestry

Current land use zoning for the site is:

Mineral Zone

Proposed end land use is:

Forestry

Estimate total minable reserves over the life of the mine:

50000000 tonnes

Estimate annual extraction from site:

249999 tonnes/year

Activities		
Activity	Disturbed Area (ha)	Merchantable timber volume (m ³)
Excavation of Pit Run	2.50	0.00
Mechanical Screening	0.475	0.00
Washing	0.40	0.00
Total	3.38	0.00
Is the work year round or only seasonal?	Year round	
Brief description of operation, including proposed work schedule	The operation will run from Monday to Friday 6AM to 10PM with maintenance typically done on weekends. Excavation of pit run, screening, crushing and washing, stockpiling and loading customer trucks are the primary activities.	
RECLAMATION PROGRAM		
Reclamation and timing for this specific activity:	Reclamation will follow mining and be done as progressively as possible. The final slope will be a 2:1 H:V slope from the west side of the pit to the final grade being Chehalis FSR. After that a 1% grade will keep runoff water moving toward existing ditches beside the road. The topsoil and overburden will be placed on the reclaimed slope and the entire area will be re-planted with selected conifers. no backfilling proposed	
If backfilling of pits or pit slopes is proposed in the final configuration for reclamation, details of materials to be used and placement procedures:		
Will progressive reclamation be carried out?	Yes	
Maximum unreclaimed disturbance at any given time:	15.00	
Estimated cost of reclamation of activities described above:	\$30,000.00	
GROUNDWATER PROTECTION		
Average depth to the high groundwater table at the proposed excavation (m):	100.00	
Elevation of the groundwater table was determined from:	Other: Groundwater was not encountered during test drilling, test pitting or current excavation	
IMPACT MINIMIZATION		
Shortest distance between proposed excavation to nearest residence (m):	5,000.00	
Shortest distance between proposed excavation to nearest residential water source (m):	5,000.00	
Measures to prevent inadvertent access of unauthorized persons to the mine site:	Access roads will be gated. Signs stating "NO TRESPASSING - ACTIVE MINING" will be posted around the site at appropriate intervals and berms will be constructed along the road where possible.	
Measures to minimize noise impacts of the operation:	All equipment will have proper mufflers and berms/stockpiles used to shield the noise from processing.	
Measures to minimize dust impacts of the operation:	Access roads watered and water sprays on processing equipment when required.	
Measures to minimize visual impacts of the operation:	An forest buffer north and south of the project will be maintained. Excavated areas will be re-planted when extraction is complete.	
TIMBER CUTTING		
Total merchantable timber volume (m³):	0.00	

EQUIPMENT		
Quantity	Type	Size/Capacity
2	Loader	7m3
1	Excavator	3m3
1	Bulldozer / Crawler Tractors	10m3
1	Power Supply	200kw
6	Conveyor / Belt	200 tph
2	Other Screen plant	200 tph
1	Crusher	200 tph
1	Other wash plant	200 tph

SUMMARY OF RECLAMATION		
Activity	Total Affected Area (ha)	Estimated cost of reclamation (\$)
Sand and Gravel etc.	3.38	\$30,000.00
Settling Ponds	0.35	\$0.00
Subtotal:	3.73	\$30,000.00
Unreclaimed disturbance from previous year:	1.84	
Disturbance planned for reclamation this year	0.00	
Total	5.57	\$30,000.00

OTHER CONTACTS	
Contact Info	
Type of Contact:	<input type="checkbox"/> Tenure Holder <input type="checkbox"/> Permittee <input type="checkbox"/> Site Operator <input type="checkbox"/> Referral Point
Company/Organization:	Statlu Resources Inc.
Contact First Name:	Grant
Contact Last Name:	Johnston
Contact Phone:	[REDACTED]
Contact Email:	[REDACTED]
Contact Address:	[REDACTED]
Contact Info	
Type of Contact:	<input type="checkbox"/> Mine Manager
Name:	Earl Wilder
Phone:	[REDACTED]
Email:	[REDACTED]
Mailing Address:	[REDACTED]

LOCATION
LAND INFORMATION

Description

Land Ownership Category:

Provincial Crown Land

Legal Description:

THAT PARCEL OR TRACT OF LAND IN THE VICINITY OF CHEHALIS RIVER, GROUP 1, NEW WESTMINSTER DISTRICT CONTAINING 83.61 HECTARES, MORE OR LESS

MAPS

Description

Filename

Schedule A1

H-Route-map.pdf

Land Title Map

Land Title Map-geo3.pdf

Location Map

Location Map3.pdf

Mine Development Plan

Statlu-Pit-pln_R3.pdf

Main Profile 1

Profile 0+00 - 3+50.pdf

Main Profile 2

Profile 3+50 - 7+00.pdf

Main Profile 3

Profile 7+00 - 8+50.pdf

Cross Section 1

X-Sec 0+00 - 0+50.pdf

Cross Section 2

X-Sec 1+00 - 1+50.pdf

Cross Section 3

X-Sec 2+00 - 2+50.pdf

Cross Section 4

X-Sec 3+00 - 3+50.pdf

Cross Section 5

X-Sec 4+00 - 4+50.pdf

Cross Section 6

X-Sec 5+00 - 5+50.pdf

Cross Section 7

X-Sec 6+00 - 6+50.pdf

Cross Section 8

X-Sec 7+00 - 7+50.pdf

Cross Section 9

X-Sec 8+00.pdf

Cross Section 10

X-Sec 8+50.pdf

DOCUMENTS

Document Type

Description

Filename

Archaeological Chance Find Procedure

ACFP

Statlu Archaeological Chance Find Procedure.pdf

Mine Emergency Response Plan

MERP

Emergency Response Plan.pdf

Annual Summary

Annual Summary for 2018

Statlu Annual Reclamation Report for 2018.pdf

Other

Disturbed areas measurement

Measured ha used at Pit.pdf

Proof of authorization

agency letter

signed agency letter.pdf

Privacy Declaration

PRIVACY NOTE FOR THE COLLECTION, USE AND DISCLOSURE OF PERSONAL INFORMATION

Personal information is collected under the legal authority of section 26 (c) and 27 (1)(a)(i) of the *Freedom of Information and Protection of Privacy Act (the Act)*.

The collection, use, and disclosure of personal information is subject to the provisions of the Act. The personal information collected will be used to process your inquiry or application(s). It may also be shared when strictly necessary with partner agencies that are also subject to the provisions of the Act. The personal information supplied in the application package may be used for referrals or notifications as required. Personal information may be used for survey purposes.

For more information regarding the collection, use, and/or disclosure of your personal information, please contact FrontCounter BC at 1-877-855-3222 or at

FrontCounter BC Program Director
FrontCounter BC, Provincial Operation

☒ This check indicates that you have read and agree to the privacy declaration stated above.

REFERRAL INFORMATION

Some applications may be passed on to other agencies, ministries or other affected parties for referral or consultation purposes. A referral or notification is necessary when the approval of your application might affect someone else's rights or resources or those of the citizens of BC. An example of someone who could receive your application for referral purposes is a habitat officer who looks after the fish and wildlife in the area of your application. This does not apply to all applications and is done only when required.

Company/Organization:	Statlu Resources Inc.
Contact First Name:	Grant
Contact Last Name:	Johnston
Contact Phone:	[REDACTED]
Contact Email:	[REDACTED]
Contact Address:	[REDACTED]

☒ I hereby grant permission for the public release of the information provided above. This information will be used to fulfill, if required, the referral and advertising requirements of my application.

IMPORTANT NOTICES

DECLARATION

☒ By submitting this application form, I, declare that the information contained on this form is complete and accurate.

APPLICATION AND ASSOCIATED FEES

Item	Amount	Taxes	Total	Outstanding Balance
Notice of Work Application Fee (Pits and Quarries - Maximum annual tonnage: 249,999 tonnes)	\$50,000.00	\$0.00	\$50,000.00	\$0.00

Total Fees: \$50,000.00
Balance Owing: \$0.00

OFFICE

Office handling the application: Surrey

PROJECT INFORMATION

Authorization Request Type: Mines Notice of Work

Kristen Kohuch

From: Mike LakeErrock [REDACTED]
Sent: July 11, 2020 5:05 PM
To: Kristen Kohuch
Cc: Jeff Denise Rempel; Wendy Bales; Wendy Bales
Subject: Easc n board meeting comments

Hello,

Please include my support for having public consultation in regards to the Statlu pit prior to any approvals being made.

In addition, please also note that I am in support of the variance for the Rempels to install a gangway to connect their two buildings. I cannot understand why staff are against this variance that has zero impact in the community, yet seems to favour the gravel operation that has a negative impact to all residents.

Thank you.

Mike **Armstrong**
Lake Errock

Kristen Kohuch

From: BRUCE TOPP [REDACTED]
Sent: July 11, 2020 6:12 PM
To: Kristen Kohuch
Subject: Statlu

Dear Sir: as a member of a community committee and as a person who made a presentation to the Fvrd regarding the possibility of Statlu getting approval for the dumping of contaminated soil in the same area I demand that a public hearing be held requiring Statlu Resources to fully disclose their intentions. Our water is the most important resource! If there is going to be development at the Sandpiper golf course they also will be drawing on our water supply.

There was a reason that the Fvrd denied a permit to Statlu a couple of years ago. Nothing has changed since that time.

I ask that the Fvrd deny any permits until there is full public consultation.

Bruce Topp, owner at Eagle

Kristen Kohuch

From: sonya/wayne gustason [REDACTED]
Sent: July 12, 2020 9:39 AM
To: Kristen Kohuch; Bill Dickey; Dennis Adamson; Taryn Dixon; Terry Raymond; Orion Engar; Wendy Bales; Al Stobbart; Hugh Davidson
Subject: Chehalis Forestry road

To staff and directors of FVRD.

Please have this information presented at a public meeting regarding the proposed mine in area C on Chehalis forestry road.

The additional heavy traffic from trucks hauling gravel would over load the forestry road and make it an industrial road. At this time the users are, logging trucks, water plant transportation, prison, residences, logging camp and a very heavy recreational use.

The Chehalis road where it meets Morris Valley road has gravel on the the pavement , damage and pot holes from all the traffic on the gravel road.

On the section of the forestry road in front of the Morris Valley dump is in constant need of grading, why should I have to wash my car every time I go to the dump? The increased traffic will only make the road worse. How many other areas in FVRD have to drive on a gravel road to get rid of their garbage? This is an essential service.

The increased traffic will make it even more necessary to have passing lane on highway 7 west near Malcolm road.

This mine and road are the Province of B.C. responsibility they should be looking after all the problems that are coming from the approval of this mine.

Hold this project up until there is a plan in place to cover the issues it going to create.

Wayne Gustason
Morris Vallery

Kristen Kohuch

From: Dehlia Simper [REDACTED]
Sent: July 12, 2020 11:25 AM
To: Kristen Kohuch
Subject: Statlu gravel Pit

THAT the FVRD Board provide and consider public consultation for the review of Commercial Gravel Operations Permit 2020-01 to Statlu Resources INC for the gravel operation at 12 KM of the Chehalis Forest Service Road in Electoral Area C.

I think that the public be able to comment on and have their concerns heard
Thanks Dehlia Simper (Lake Errock)

Kristen Kohuch

From: Brenda & / or Doug Wright [REDACTED]
Sent: July 12, 2020 3:47 PM
To: Bill Dickey; Dennis Adamson; Taryn Dixon; Terry Raymond; Orion Engar; Wendy Bales; Al Stobbart; Hugh Davidson
Cc: Kristen Kohuch
Subject: Statlu Resources Inc. - Commercial Gravel Operations Permit 2020-01 Application

Dear Chair Dickey and members of the EASC,

Ref: EASC Meeting July 14th, 2020 - Agenda item 6.5, MOTION FOR CONSIDERATION
“that the FVRD Board issue Commercial Gravel Operations Permit 2020-01 to Statlu Resources Inc.”

Our first comments have to relate to the fact that in late 2015 Statlu Resources Inc. (SRI) made application to the FVRD for a “land usage rezoning” of their existing pit area to allow backhauling, and landfilling, of remediated (*contaminated*) soil, and we believe this history has a bearing on the present application.

The then SRI President Mr. Earl Wilder stated in part that,

“His company had been struggling with the gravel pit near the subject site and have been looking for alternative ways to make it viable. SRI would like to develop the subject site as an industrial waste disposal site”.

This position was further supported by statements that due to the pits remote locality compared to its competitors’ pits the only way this pit could be viable was to allow this backhauling of “product” into the pit area, and subsequently the same trucks could haul out processed gravel. In other words trucks would have to have a “paid reason” to drive the 12 kilometers up to the pit!

It was also mentioned that failing agreement on “backhauling” an alternative may be to establish a “trans load” facility close to the bottom of Chehalis Forestry Service Road (CFSR).

After consideration of this position at the February 16, 2016 the EASC unanimously passed the following motion,

THAT the Fraser Valley Regional District Board refuse the application for a zoning amendment to permit a contaminated soil landfill near the Chehalis River in Electoral Area "C";

AND THAT the Fraser Valley Regional District Board request that the Province of British Columbia provide funding for a regional contaminated soil disposal plan to be

undertaken by the FVRD in coordination with representatives from Industry, the Province, the public and First Nations.

The EASC also reaffirmed the FVRD position that the,

"The Chehalis River Valley is currently viewed as a wilderness area that supports public resource extraction, tourism and recreation. The area is considered a salmon strong hold and is important for regional and provincial ecological functions. The proposal to landfill remediated soil in this area conflicts with the current uses and understanding of the area"

At the full Board of Directors Meeting of the FVRD on February 23, 2016 the Board of Directors unanimously reaffirmed the above motion.

Having accepted these historical facts it begs the question what has changed since early 2016 that would now make the pit viable without a "backload", or similar, component?

It must be appreciated that we accept the entitlement for SRI to operate their pit and business, but it cannot be at the detriment of the local communities, and public in general. The present application in our opinion has elements that would be detrimental to the health and safety of the above mentioned groups. Those elements being,

The proposal is that *"the operation is to run year round Monday to Saturday 7:00 am to 7:00 pm with maintenance on Sundays"*.

It must be appreciated the CFSR and the Chehalis River Valley area is extremely active with camping and "off road" vehicle activity at weekends, and these tourist / recreation activities would have to share this limited road, and area, with large commercial trucks.

We therefore believe operational activities should be limited to Monday to Friday to avoid this potentially dangerous conflict

Road dust from the CFSR is presently a major concern for the immediate residential community of "Harrison Lane", and this is with very limited traffic on the CFSR. This large increase in traffic this proposal will bring will negatively affect the life, and possibly health, of residents in the immediate area.

We therefore believe the applicant, and as part of their Road Use Permit the MFLRORD, be encouraged by the FVRD to "black top" the first 2 kilometers of the CFSR.

We have a concern that approval of this application could lead to a reemergence of the need in the future of the applicant for either a "backload" and/or a "trans load facility" to make the operation viable.

We believe the approval of the present application should be conditional on that there will be no future consideration of a "backload and/or "trans load facility".

In conclusion, we appreciate your individual consideration of the above, and that this email be attached to the agenda for the EASC meeting where this application is being considered.

Yours Sincerely,

Brenda & Douglas Wright

#115 – 14500 Morris Valley Road, Harrison Mills, BC

Kristen Kohuch

From: Tom Cadieux [REDACTED]
Sent: July 12, 2020 3:48 PM
To: Kristen Kohuch
Cc: Wendy
Subject: Starlight gravel mine

Sir: if I am hearing right this company went through a small community consultation exercise awhile ago however does not see fit to continue dialogue and the changes they propose seem suspicious. Please consider a request to ensure new changes receive a community review. My tel no is [REDACTED]

Sent from my iPhone

Kristen Kohuch

From: Fiona Hoey <[REDACTED]>
Sent: July 12, 2020 4:33 PM
To: Kristen Kohuch
Cc: 'Diane'; Bill Dickey; Dennis Adamson; Taryn Dixon; Terry Raymond; Orion Engar; Wendy Bales; Al Stobbart; Hugh Davidson
Subject: Statlu Resources INC

Good Afternoon

As a resident of Morris Valley Road, I have serious concerns about the amount of noise and dust that the many daily gravel trucks will generate if the Statlu Resources INC continue forward with this gravel operation. I am also extremely concerned about the way that this application will affect the water supply and the fish runs in the Chehalis River. I do not believe that this development will be beneficial to the surrounding areas.

I am requesting that public input be received prior to any decisions and permit issuance by FVRD.

Sincerely

Fiona Hoey

58-14600 Morris Valley Road
Harrison Mills, B.C. V0M 1A1

Kristen Kohuch

From: Roger Mawdsley <[REDACTED]>
Sent: July 12, 2020 5:47 PM
To: Bill Dickey; Dennis Adamson; Taryn Dixon; Terry Raymond; Orion Engar; Wendy Bales; Al Stobbart; Hugh Davidson; Kristen Kohuch; Jennifer Kinneman
Cc: Diane ; Doug & Brenda Wright; Wendy; Graham Daneluz
Subject: EASC July 11, 2020 Revised
Attachments: Letter to EASC Re Statlu Resources July 11, 2020.pdf

Hello EASC Members,

It has recently been brought to my attention that yet another application has been made by Statlu Resources to develop a gravel pit approximately eleven kilometers along the Chehalis Forest Service Road from the junction with Morris Valley Road in Harrison Mills, BC.

Given the controversy of this site in recent years, there is a concern in the community that the FVRD has not made the presence of this application known to the local residents. And further that the matter is on the agenda for passage at Monday's EASC meeting without the local residents and recreational users being given the opportunity to be part of the discussion.

I, for one, would like to share some of my thoughts on the matter. To this end, I would appreciate it if you could review the attached document outlining some of the concerns expressed in the community as part of your deliberation process.

Paramount is the need for public consultation on the application. Accordingly, notwithstanding the fact that Statlu has already marshaled equipment on the site, seemingly of the opinion that the FVRD approval is guaranteed, this application should be held in abeyance until the local residents and recreational users have the opportunity to review the application, express their concerns and work with the FVRD to develop a plan that will address the needs of the company and the concerns of the local residents and recreational users.

Having been an advisor to a number of engineering companies over the past fifty years and as a special advisor to the Minister of Mines in Ontario, I understand the importance of public dialogue and trust that members of this committee do as well.

Regards, Roger Mawdsley - Harrison Mills

12-14505 Morris Valley Road,
Harrison Mills, BC
VOM 1A1

July 11, 2020

Telephone: [REDACTED]
Email: [REDACTED]

Bill Dickey, Chair
Electoral Area Services Committee
Fraser Valley Regional District
Head Office
45950 Cheam Avenue
Chilliwack, BC V2P 1N6

Dear Mr. Dickey and members of the EASC

Re: Application by Statlu Resources to operate a gravel pit on Chehalis Forest Service Road.

Further to my email of July 11, 2020 I offer the following thoughts on the above captioned matter:

Historical Perspective

The pit was initially opened a number of years ago and never amounted to a viable commercial venture. The main reason was the lack of affordable transportation to deliver the product to market. Truck drivers simply refused to traverse the poorly surfaced road without being paid a premium. This made the venture uneconomic and it became dormant shortly thereafter.

About 2015 a plan was developed to move the gravel by large trucks from the pit to the junction of the Chehalis Forest Service Road and Morris Valley Road., where it was to be reloaded onto highway trucks and shipped to market. This plan also failed because the cost of double handling the material rendered the venture uneconomic.

In 2016 another attempt was made to develop site. In order to reduce the prohibitive transportation costs associated with transporting gravel from the site to markets, it was thought that the trucking costs could be greatly reduced if a source of revenue could be obtained on the inbound trip. To this end, a plan was developed and application made to transport 300,000 tons of contaminated waste soil for disposal in the area of the pit, and within the watershed that serves the local area. This application was denied by Ministry of Mines and the site has remained dormant since.

Concerns:

The current application was lodged in early 2019 and appears reasonable on its face. However, there are some concerns with it. In particular, they fall into a number of categories.

The first concern is public safety. Graham Daneluz estimated "If 249999 tonnes is moved each year in a tandem axel truck it would involve around 18,000 loads per year. Fewer if trailers are used". This increase in traffic will present a clear and present danger to other users of the CFS road. Exacerbating this issue, the site plan indicates that activities will be taking place on both sides of the road, thereby making it extremely hazardous for anyone wishing to travel further up the road, if not impossible.

The second concern is environmental: Of grave concern is the potential for a fuel oil spill within the watershed that provides our drinking water. Regardless of any cleanup attempt, any spill will eventually seep into our aquifer with disastrous results. Additionally, with the great increase in truck traffic, the dust created at the bottom portion of the road will present a health hazard. Currently, on dry days in the

summer, the dust created in the yard at the local logging company often obscures the sky over our small subdivision. Calcite applications, which last for a couple of weeks at best, do little to minimize the problem and water alone is useless, especially with the traffic forecast for the operation.

The third concern is the longevity of the operation and the future. Simply put, this pit has not been economically viable from the outset. Road conditions have not improved and it is doubtful that trucking costs will improve. Margins have not increased substantially and competition has increased substantially. Currently there are at least four other pits in the area with an estimated two million ton capacity. Given that they are all located with paved access to Highway 7 and within a few kilometers from the proposed Statlu site, it is doubtful that Statlu can be profitable, especially if it is reliant on high cost of one direction transportation on a horrible road.

Conclusion:

Having said that, my main concern is that a few months from now, when the pit again fails to turn out to be a financially viable venture, it will once again apply for relief from any restrictions imposed by the FVRD address the concerns of the local residents and recreational users of the CFS Road.

In particular, these restrictions should include:

- 1) A clear and definitive caveat to the authorization that specifically precludes any and all activity in the vicinity to the CFS Road and Morris Valley Road junction.
- 2) Requiring Statlu to pave a 1 1/2 km portion of the CFS Road from the above junction.
- 3) An undertaking that Statlu's operations will not interfere with the safe travel by others on the road.

In closing, personally I do not object to the operation of the pit as envisioned. However, it must be operated in such a fashion to not present a danger to public safety, damage the environment and not impact on the local resident and recreational users. After all, the Chehalis River Valley and Harrison Mills are predominately residential/recreational and should remain as such.

Thank you for this opportunity to submit my concerns on the matter

Respectfully submitted,

Roger Mawdsley