

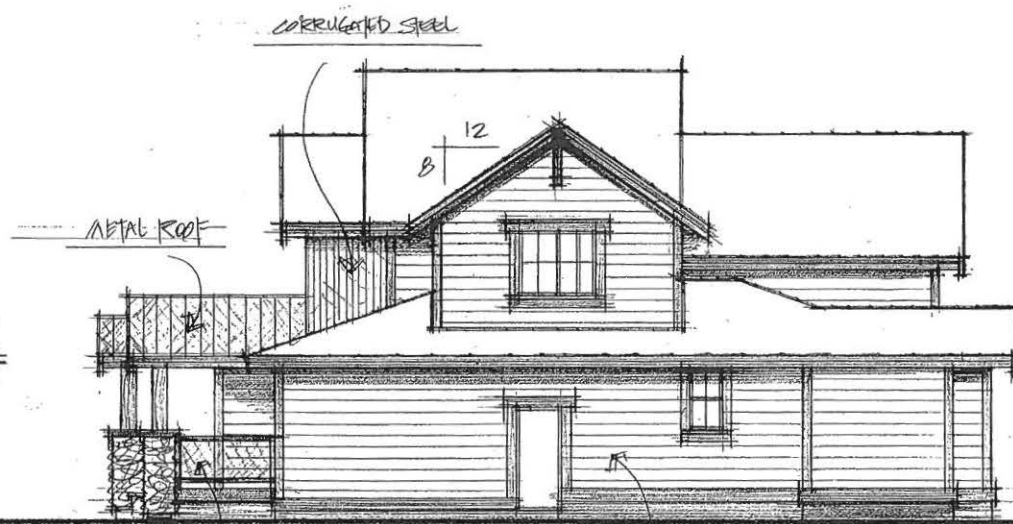
MAY 10 / 2018

AQUADEL - PHASE 2 - PLAN F1

total: 1900 sq. ft.



FRONT ELEVATION



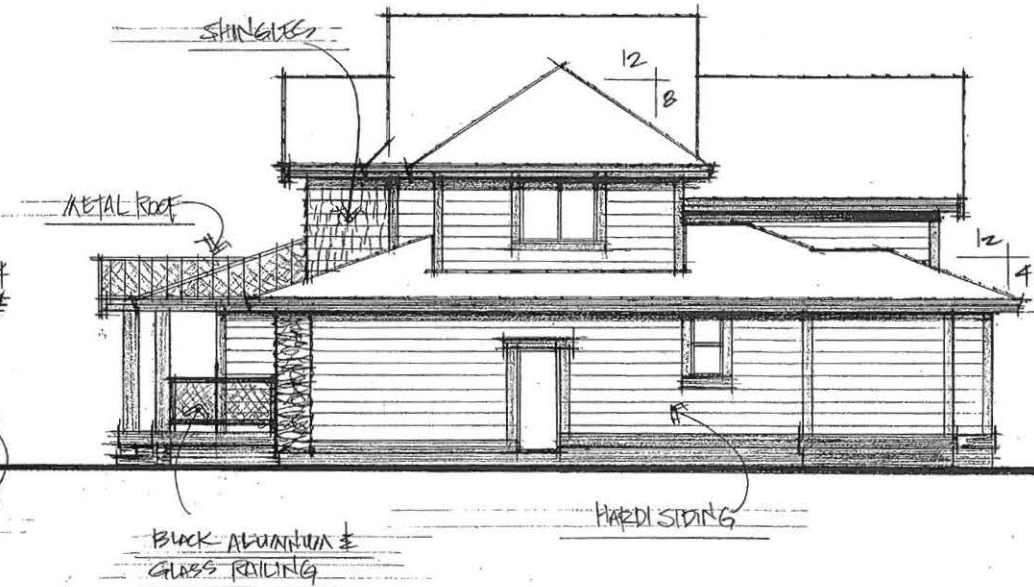
RIGHT ELEVATION

AQUADEL - PHASE 2 - PLAN F2

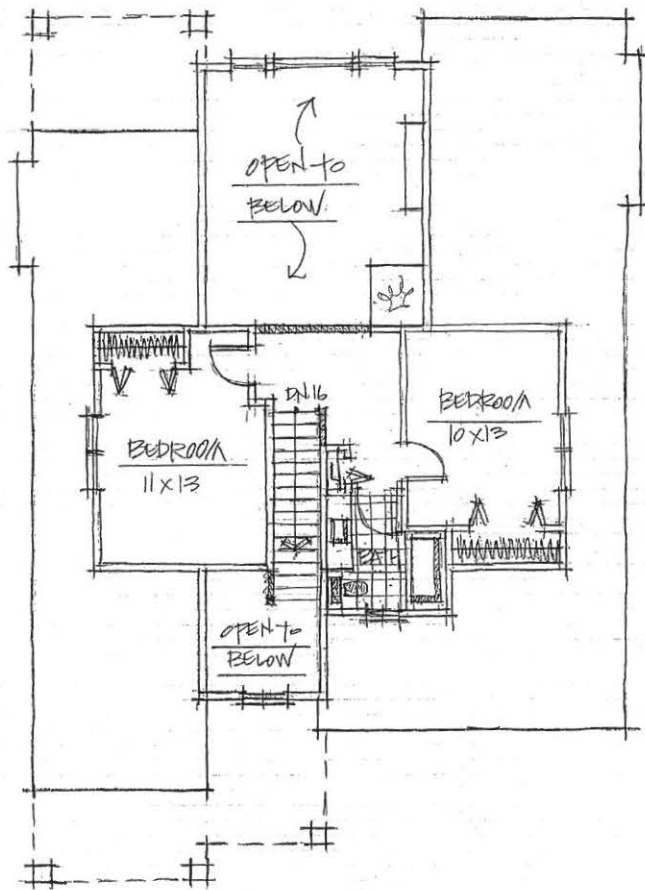
TOTAL: 1900 SQ. FT.



FRONT ELEVATION



RIGHT ELEVATION

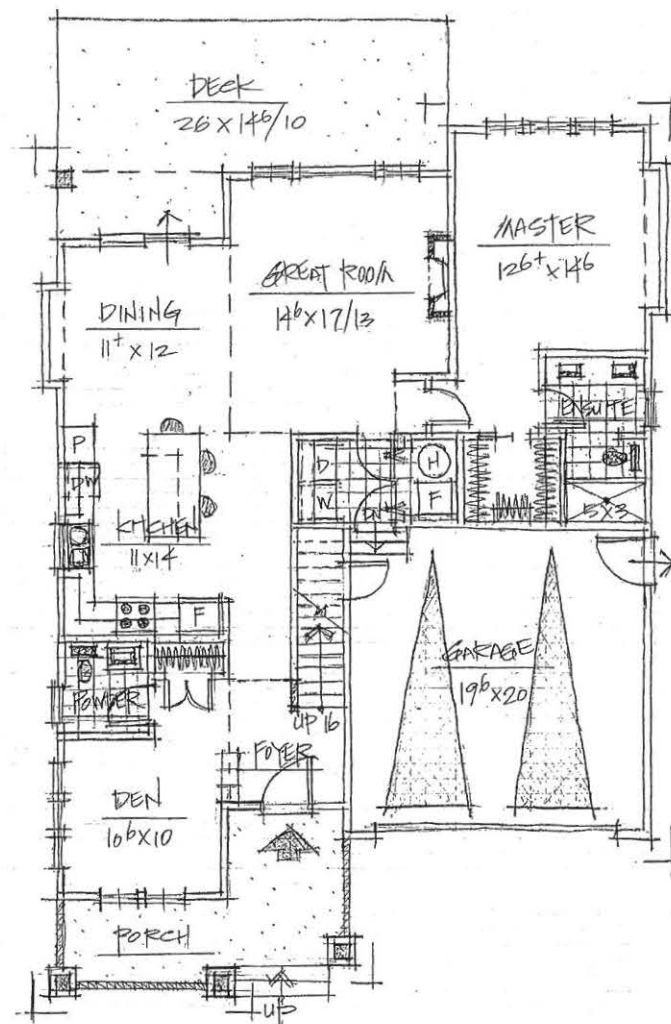


UPPER FLOOR - 515 SQ. FT.

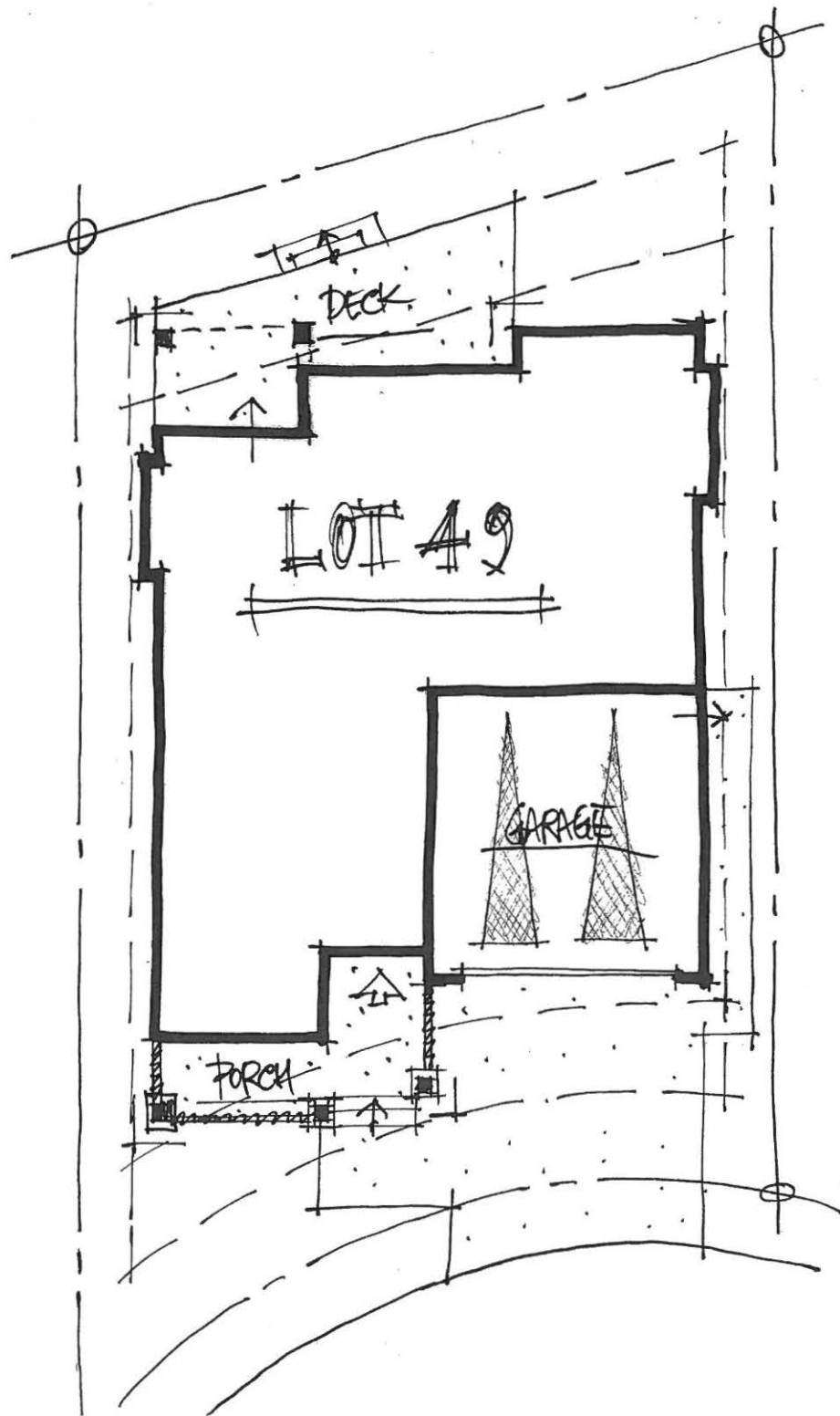
AQUADEL PHASE 2 - PLAN F

29.5' x 51.5' / 64'

TOTAL: 1900 SQ. FT.



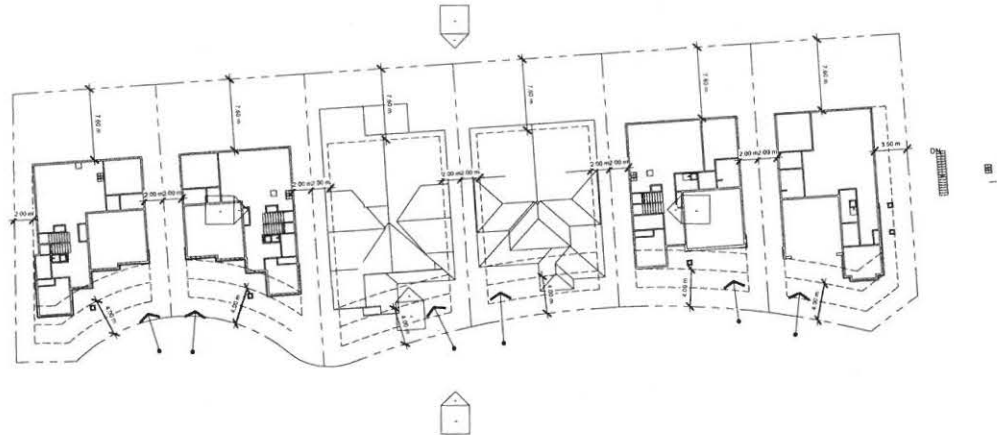
MAIN FLOOR - 1385 SQ. FT.



site cov = 45%

front = 4m
Flank = 3.5m
Side = 2.0m
rear = 7.6m

garage front = 6.0m
porch front = 2.0m
porch flank = 2.0m
porch rear = 3.0m
height = 10.0m



① SITE
1" = 20'-0"



② 3D View 1

ZED STUDIO

phone 778 242 1160
address #301 - 3007 GLEN DRIVE
COQUITLAM, BC
V3B 0L8
email zane@zedstudio.com
web www.zedstudio.com

phone
address
email
web

REVISIONS
NO. DATE DESCRIPTION

NO.	DATE	DESCRIPTION

AQUADELL PHASE 2

Enter address here

title
SITE PLAN

scale 1" = 20'-0"

date 2018-05-15

drawn DS checked ZE

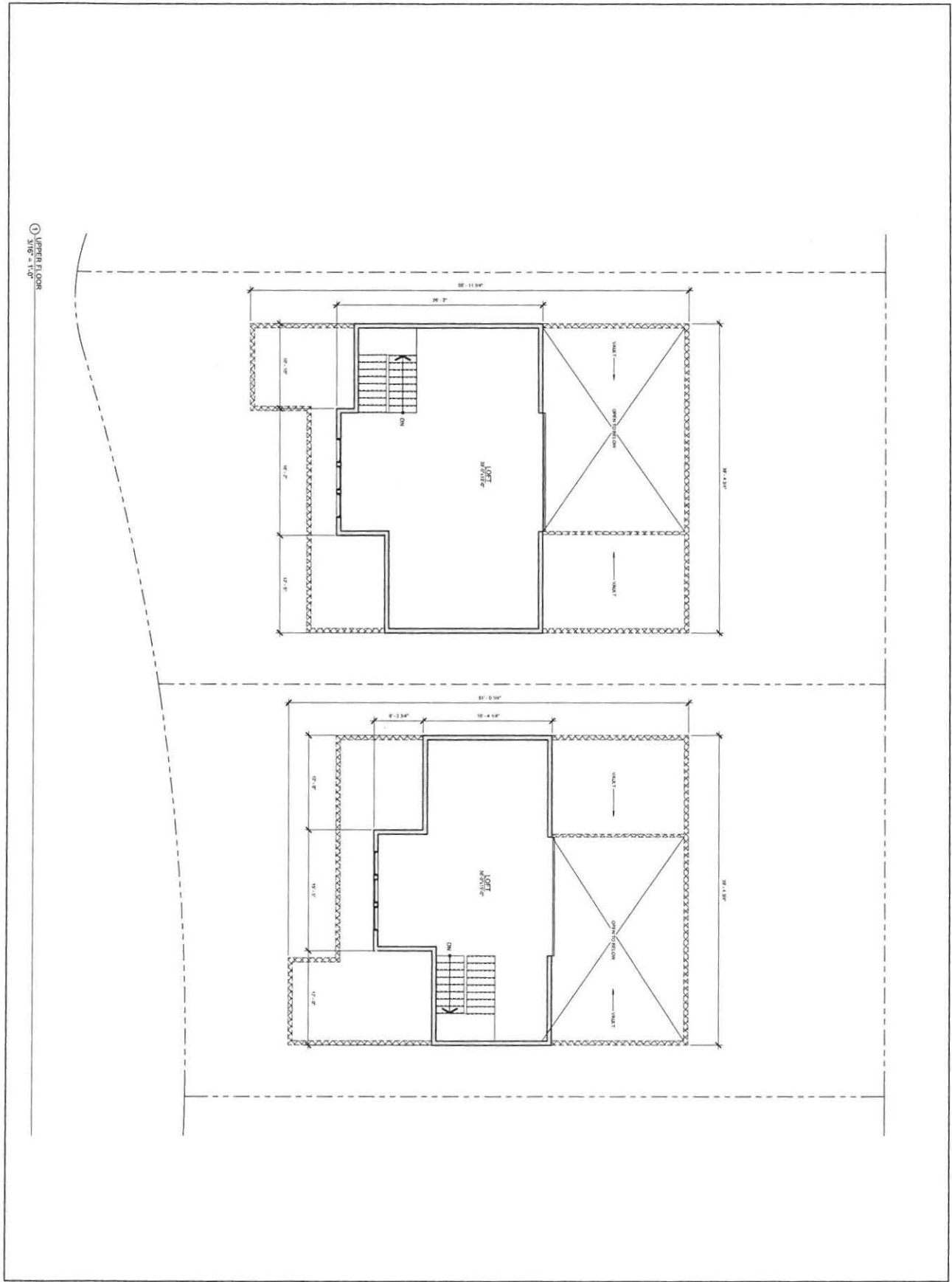
job no. 1826

sheet no. A102

consultant

Drawings are to be read in
conjunction with each other. Any
discrepancies noted on any drawings
are to be reported to the designer
before commencing work.
Contractors are responsible to
ensure that all work is carried out
in accordance with the latest
edition of the B.C. Building Code.
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2018-05-15 4:23:44 PM



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UNPROTECTED OPENINGS:	
WALL AREA:	375.1 SQ. FT.
CEILING AREA:	47.0
PERMITTED OPENINGS:	5.5 SQ. FT. 7.0%
UNPERMITTED OPENINGS:	366.6 SQ. FT. 9.7%

LEFT ELEVATION



UNPROTECTED OPENINGS:	
WALL AREA:	305.1 SQ. FT.
CEILING AREA:	47.0
PERMITTED OPENINGS:	14.2 SQ. FT. 7.0%
UNPERMITTED OPENINGS:	290.9 SQ. FT. 9.3%

RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

Key Plan

Project North

Revisions		
#	Description	Date
1	Initial Design	04/18/17
2	Second Revision	05/15/17
3	Foundation Added (See P.P.)	05/15/17
4	Foundation Added (See P.P.)	05/15/17
5	Foundation Added (See P.P.)	05/15/17
6	Foundation Added (See P.P.)	05/15/17
7	Foundation Added (See P.P.)	05/15/17
8	Foundation Added (See P.P.)	05/15/17
9	Foundation Added (See P.P.)	05/15/17
10	Foundation Added (See P.P.)	05/15/17

Client
Genica Developments

Project
**Aquadel Crossing
Plan B2R**

Drawing Title
Elevations

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2A8

Tel: 604.662.8008
Fax: 604.662.8078
www.13design.ca

Designed/Drawn By:
G.M./M.P.

Date:
January 20, 2017

Scale:
1/4" = 1'-0"

Sheet Number:
A2.0

THESE PLANS HAVE BEEN DESIGNED BY A LICENSED ARCHITECT AND A PORTION OF THE 6-C. BUILDING CODE

UPPER FLOOR PLAN

FLOOR AREA = 902 SQ.FT.

MAIN FLOOR PLAN

FLOOR AREA = 1203 SQ.FT.
TOTAL FLOOR AREA = 2105 SQ.FT.

NOTE: ELECTRICAL LAYOUT FOR REFERENCED ONLY. ALL ELECTRICAL PIPES AND ELECTRICAL INDOOR/OUTDOOR PLATE LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.

Key Point

Project North

Revisions		
#	Description	Date
1	Original	04/10/17
2	Second Revision	04/10/17
3	Foundation Added Under # 2	03/15/17
5	Corbelled Foundation Added	03/14/17
6	House Raised 18"	
7	Corbelled Foundation Removed, House Decks Added	03/14/17
8	Roof Added over Rear Deck	
9	Trusses & Projection and Overhang Reduced	02/11/17
10	Complete Wall Footings Added	02/06/17
1	Issued for Review	01/20/17

Client:

Genica
Developments[illegible]

Project

Aquadel Crossing
Plan B2R

Drawing Title
Main Floor Plan
Upper Floor Plan

Drawn By:
4723 Hastings Street Tel: 604.662.8008
Burnaby, B.C. Fax: 604.662.8078
V5C 2K8 www.13design.ca

Designed/Drawn By GM/HP	Checked GM
----------------------------	---------------

Date	Scale
January 20, 2017	1/4"=1'-0"

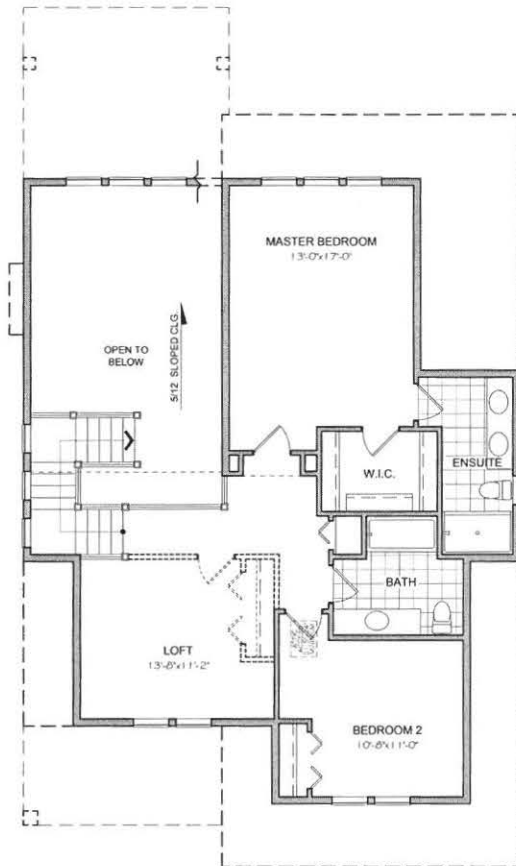
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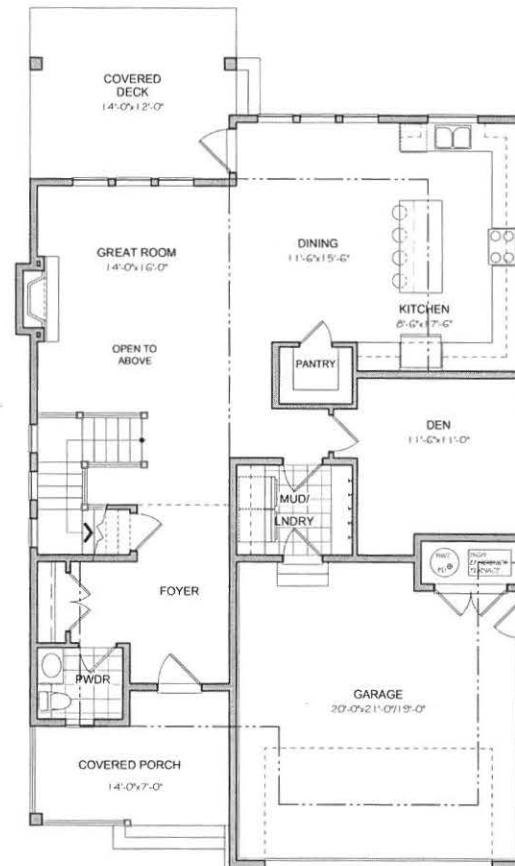


THESE PLANS HAVE BEEN UPDATED IN ACCORDANCE WITH THE 2012 EDITION OF THE B.C. BUILDING CODE.

A4.0



UPPER STRUCTURAL PLAN



MAIN STRUCTURAL PLAN

Key Plan

Project North

Revisions

#	Description	Date
1	Second Revision	04/10/17
2	Foundation Added Under P.P.	03/13/17
3	Foundation Foundation Added	03/14/17
4	House Layout 1st	03/14/17
5	Foundation Foundation Added	03/14/17
6	Foundation Foundation Added	03/14/17
7	Foundation Foundation Added	03/14/17
8	Foundation Foundation Added	03/14/17
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98	Foundation Foundation Added	03/14/17
99	Foundation Foundation Added	03/14/17
100	Foundation Foundation Added	03/14/17

Client: Genica Developments

Project: Aquadel Crossing Plan B2R

Drawing Title: Structural Plans

Drawn By: 4723 Hastings Street, Burnaby, B.C. V5C 2B8
Tel: 604.662.8008
Fax: 604.662.8079
www.i3design.ca

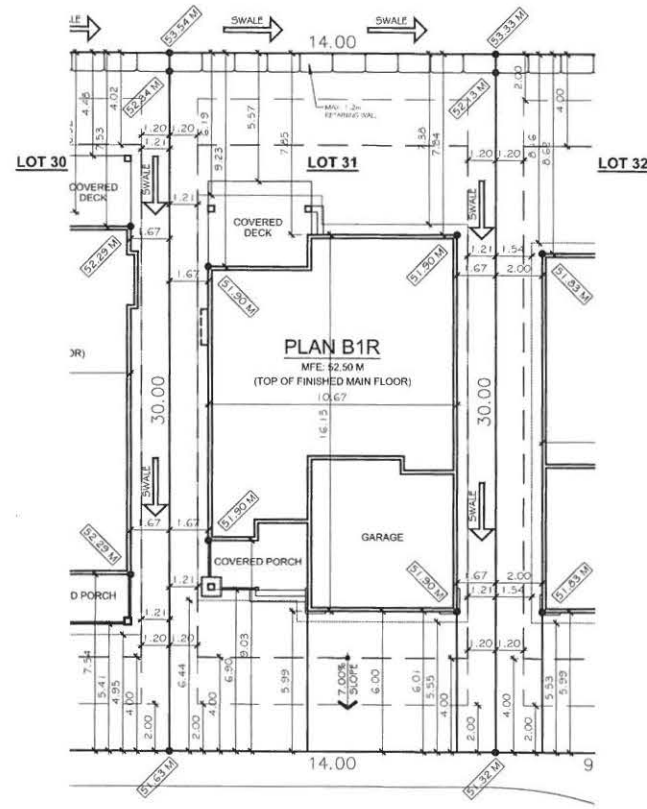
Designed/Drawn By: GMR
Checked: GMR
Date: January 20, 2017
Scale: 1/4"=1'-0"

Sheet Number: A5.0



AREA SCHEMATICS
SCALE: 1/16" = 1'-0"

PROJECT INFORMATION			
CIVIC ADDRESS			
LOT NUMBER			
LEGAL DESCRIPTION			
ZONING DISTRICT			
SETBACKS (CLEAR TO SKY)			
FRONT (TO BUILDING)	4.00 M	13.12 FT	
REAR (TO BUILDING)	4.00 M	13.12 FT	
FRONT (TO DECK)	2.00 M	6.56 FT	
REAR (TO DECK)	2.00 M	6.56 FT	
SIDE (ANYWHERE)	1.20 M	3.94 FT	
SIDE (PLANNING)	2.00 M	6.56 FT	
SITE AREA			
	470.00 SQ. M	4530.44 SQ. FT.	
SITE COVERAGE			
EXISTING	231.00 SQ. M	2456.46 SQ. FT.	55.60 %
PROPOSED	177.02 SQ. M	1927.00 SQ. FT.	42.62 %
GROSS FLOOR AREA			
MAIN FLOOR	111.26 SQ. M	1203.90 FT.	
UPPER FLOOR	63.50 SQ. M	692.90 FT.	
GARAGE FLOOR	40.04 SQ. M	431.50 FT.	
PROPOSED	235.59 SQ. M	2536.50 FT.	



SITE PLAN
SCALE: 1/8" = 1'-0"

Key Plan

Project North

Revisions

#	Description	Date
1	Foundation Added Under F.P.	03/15/17
2	Foundation Added Under F.P.	03/15/17
3	Foundation Added Under F.P.	03/15/17
4	Foundation Added Under F.P.	03/15/17
5	Foundation Added Under F.P.	03/15/17
6	Foundation Added Under F.P.	03/15/17
7	Foundation Added Under F.P.	03/15/17
8	Foundation Added Under F.P.	03/15/17
9	Foundation Added Under F.P.	03/15/17
10	Foundation Added Under F.P.	03/15/17
11	Foundation Added Under F.P.	03/15/17
12	Foundation Added Under F.P.	03/15/17
13	Foundation Added Under F.P.	03/15/17
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98	Foundation Added Under F.P.	03/15/17
99	Foundation Added Under F.P.	03/15/17
100	Foundation Added Under F.P.	03/15/17

Client:

Genica Developments

Project:

Aquadel Crossing
Plan B1R
Lot 31

Drawing Title:

Site Plan

Drawn By:

4723 Hastings Street
Burnaby, B.C.
V5C 3J8

Tel: 604.662.8008
Fax: 604.662.8018
www.i3design.ca

i3 design

Designed/Drawn By:

Calvin

Checked:

Calvin

Date:

February 13, 2017

Scale:

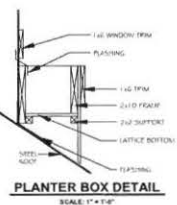
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Sheet Number:

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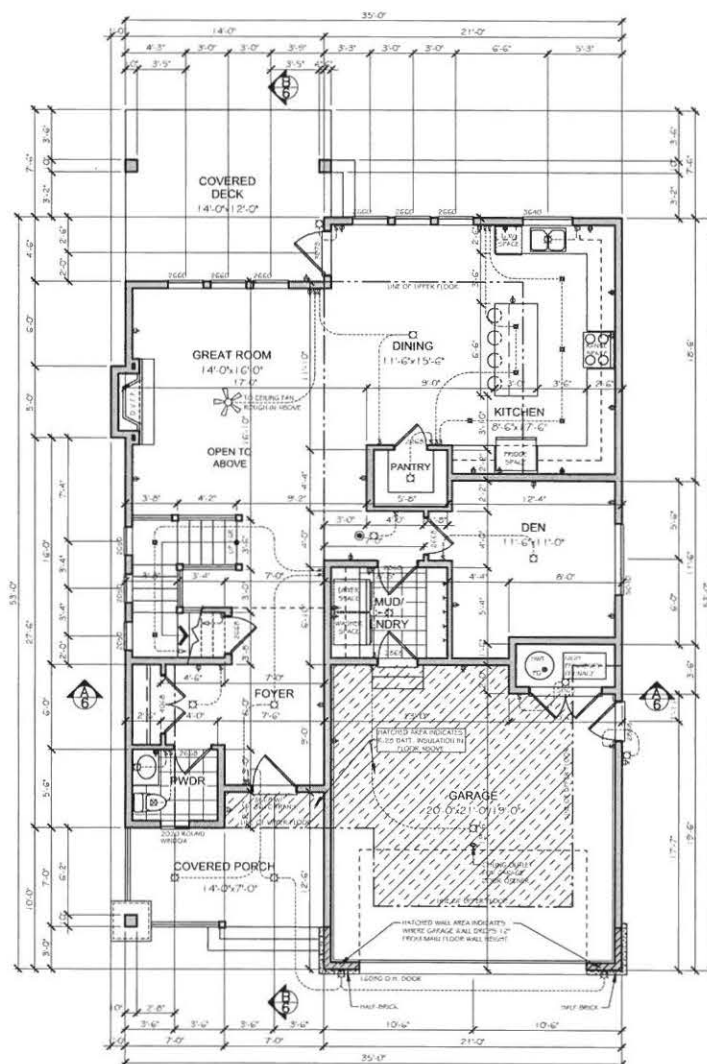
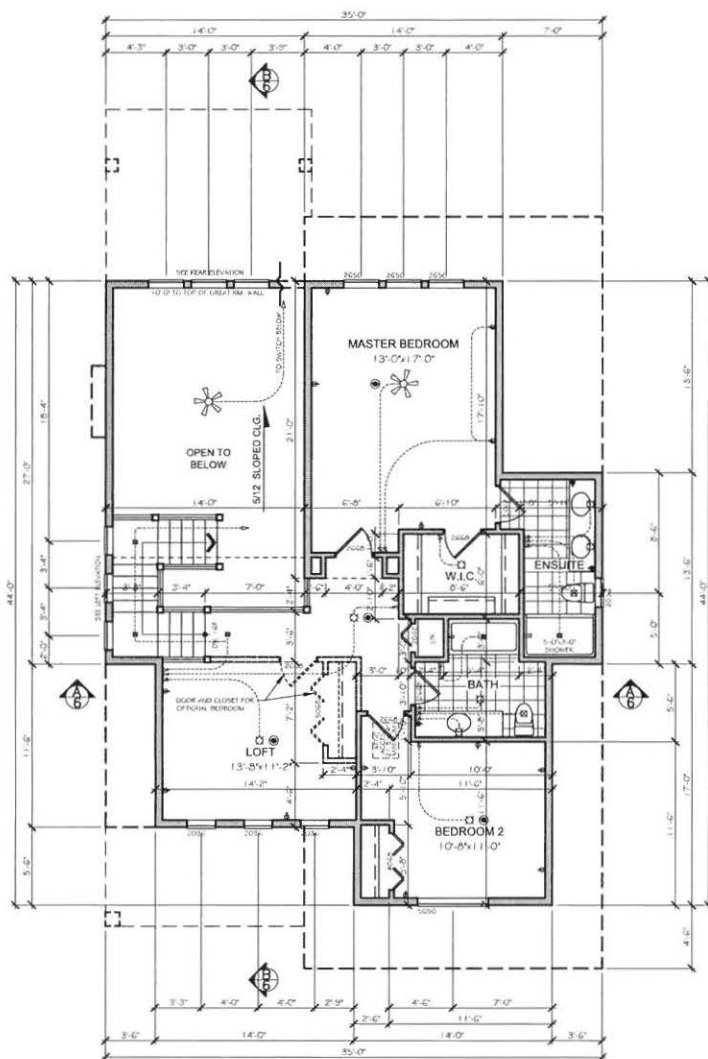
BRACKET DETAIL
SCALE: 1/2" = 1'-0"

[illegible][illegible]

THESE FUNDS HAVE BEEN DESTROYED IN ACCORDANCE WITH THE 2012 EDITION OF THE R.C. TRADING CODE

Client
**Genica
Developments**

A2.0

Key Plan

Project North

Revisions		
#	Description	Date
6	Foundation Added Under F.P.	02/15/17
5	Corbelled Foundation Added	03/16/17
	House Raised 1"	
	Corbelled Foundation Removed	
	Wood Deck Added	03/16/17
	Rear Added over Rear Deck	
	Fireplace Projection and	
	Overhang Reduced 4"	02/13/17
	Granite/Stone Wall Footings Added	02/06/17
1	Issued for Review	04/20/17

Client
**Genica
Developments**

[illegible]

Project
Aquadel Crossing
Plan B1R
Lot 31

Drawing Title
Main Floor Plan
Upper Floor Plan

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2K3

Tel: 604.662.8004
Fax: 604.662.8078
www.i3design.ca

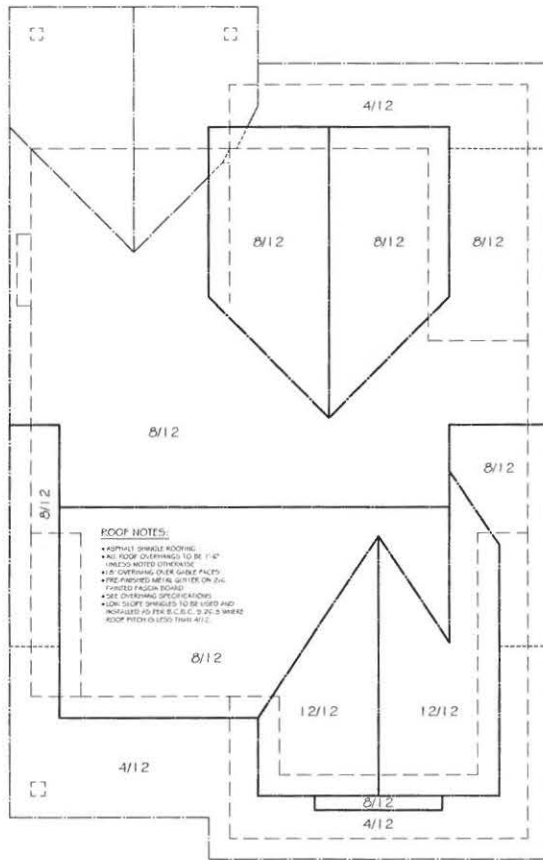
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Designed/Drawn By GM/DN	Checked GM
Date January 20, 2017	Scale 1/4" = 1'-0"

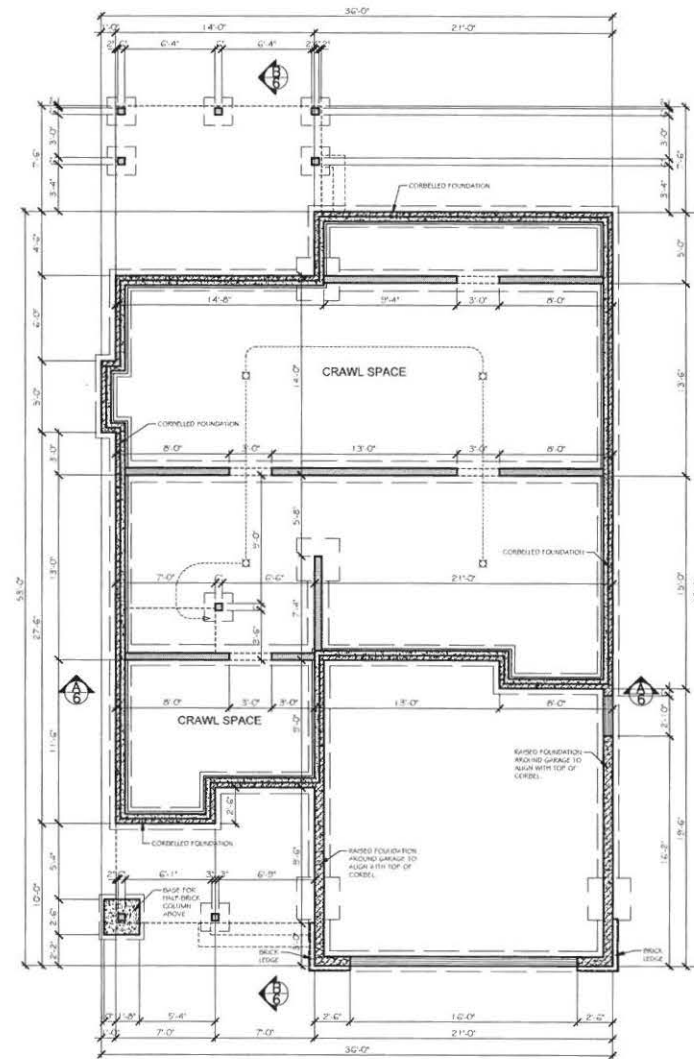
Sheet Number
A3.0

NOTE: ELECTRICAL SYMBOLS FOR REFERENCE ONLY. ALL ELECTRICAL PANEL AND ELECTRIC BASEBOARD HEATER LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 EDITION OF THE B.C. BUILDING CODE.



ROOF PLAN



Key Plan

Project North

Revision	Description	Date
1	Foundation added under 1. P.	03/15/17
2	Corbelled Foundation Added	03/16/17
3	House Reworked	03/16/17
4	Corbelled Foundation Removed, Metal Deck Added	03/16/17
5	Foundation Footings and Driveway Added	03/17/17
6	Foundation Wall Footings Added	03/20/17
7	Issued for Review	03/20/17

Client
Genica Developments

QTY	DESCRIPTION
1	SWITCHES
1	SWITCH
1	3 WAY SWITCH
1	4 WAY SWITCH
1	DIMMER SWITCH
1	LIGHTS
1	PULL CHAIN LIGHT
1	PULL LIGHT
1	FLUORESCENT
1	RECEPTACLES
1	SWITCH
1	SWITCHED
1	SWITCH
1	GROUND FAULT
1	WATERPROOF
1	2x2
1	CEILING
1	FLOOR
1	MISCELLANEOUS
1	PHONE JACK
1	TV CABLE
1	DATA/FX/PHONE
1	SMOKE ALARM
1	CEILING FAN
1	CEILING FAN/LIGHT
1	EXHAUST FAN
1	MECHANICAL
1	FORCED AIR FLOOR
1	FORCED AIR CEILING
1	THERMISTAT
1	SOLAR HW CONDUIT
1	HOME WIRE
1	4" DRAIN

Project
Aquadel Crossing Plan B1R Lot 31

Showing Title
Basement Plan Roof Plan

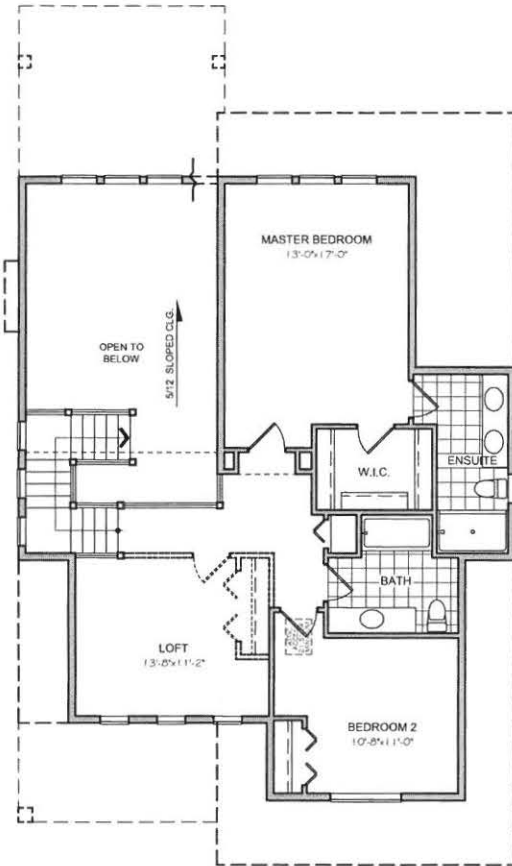
Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2K8

Tel: 604.662.8008
Fax: 604.662.8078
www.13design.ca

Designed/Drawn By: G4-011
Checked: G4-011
Date: January 20, 2017
Scale: 1/4"=1'-0"

Sheet Number:
A4.0

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 EDITION OF THE B.C. BUILDING CODE



Key Plan

Project North

#	Description	Date
1	Foundation Added Under F.P.	03/15/17
2	Foundation Added Under F.P.	03/15/17
3	Foundation Added Under F.P.	03/15/17
4	Foundation Added Under F.P.	03/15/17
5	Foundation Added Under F.P.	03/15/17
6	Foundation Added Under F.P.	03/15/17
7	Foundation Added Under F.P.	03/15/17
8	Foundation Added Under F.P.	03/15/17
9	Foundation Added Under F.P.	03/15/17
10	Foundation Added Under F.P.	03/15/17

Client:

Genica Developments

Project

Aquadel Crossing
Plan B1R
Lot 31

Drawing Title
Structural Plans

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2K3

Tel: 604.662.8058
Fax: 604.662.8058
www.i3design.ca

i3 design

Designed/Drawn By:
GAM-DW

Checked:
GAM

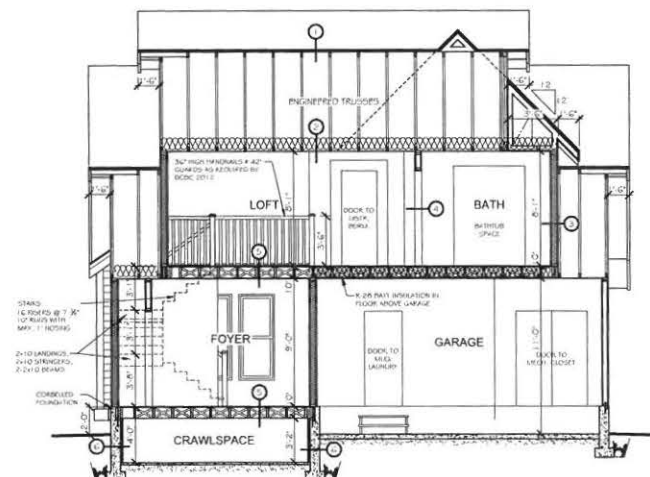
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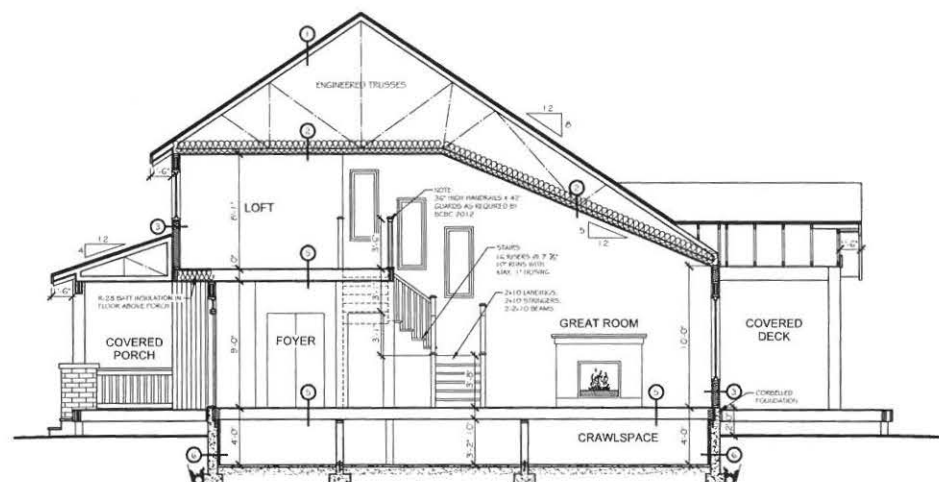
Sheet Number

A5.0

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[illegible]

SECTION A



SECTION B

Project North

Revisions		
#	Description	Date
1	Foundation Added Under P.P.	03/15/17
2	Carpeted Foundation Added	03/14/17
3	House Rammed 1"	
4	Carpeted Foundation Rammed, Wood Decks Added	01/04/17
5	Roof Added over Rear Deck	
6	Fireplace Projection and Overhang Added 6"	02/13/17
7	Ceiling Space Wall-Fronting Added	02/06/17
8	Insulated for Windows	01/30/17

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Client

Genica
Developments

Project
Aquadel Crossing
Plan B1R
Lot 31

Building Sections Assembly Specs

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2K8

Tel: 604.662.8008
Fax: 604.662.8078
www.i3design.ca

●●● i₃ design

Designed/Drawn By	Checked
G.M./DN	G.M.

Date:	Scale:
January 20, 2017	1/4" = 1'-0"

Steel Number

A6.0

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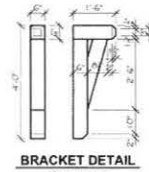
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LEFT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA	462.0 SQ. FT.
CEILING DISTANCE	4'-0"
FOOTPRINT OPENINGS	40.42 SQ. FT.
UNPROTECTED OPENINGS	10.00 SQ. FT.



GABLE BRACKET DETAIL
SCALE: 1/2" = 1'-0"



FRONT ELEVATION



RIGHT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA	35.4 SQ. FT.
CEILING DISTANCE	2'-0"
FOOTPRINT OPENINGS	45.24 SQ. FT.
UNPROTECTED OPENINGS	8.78 SQ. FT.



REAR ELEVATION

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2012 EDITION OF THE I.B.C. BUILDING CODE

Key Plan

Project North

Revisions	#	Description	Date
7	Second Elevation A2	04/06/17	
6	Plan Revised	03/27/17	
5	House Siding: Hardie Plank Siding	03/27/17	
4	House Siding: Hardie Plank Siding	03/27/17	
3	House Siding: Hardie Plank Siding	03/27/17	
2	House Siding: Hardie Plank Siding	03/27/17	
1	House Siding: Hardie Plank Siding	03/27/17	

Client:
Genica Developments

Project:
Aquadel Crossing
Plan A2R

Drawing Title:
Elevations

Drawn By:
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Burnaby, B.C.
V5C 2A8

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i3 design

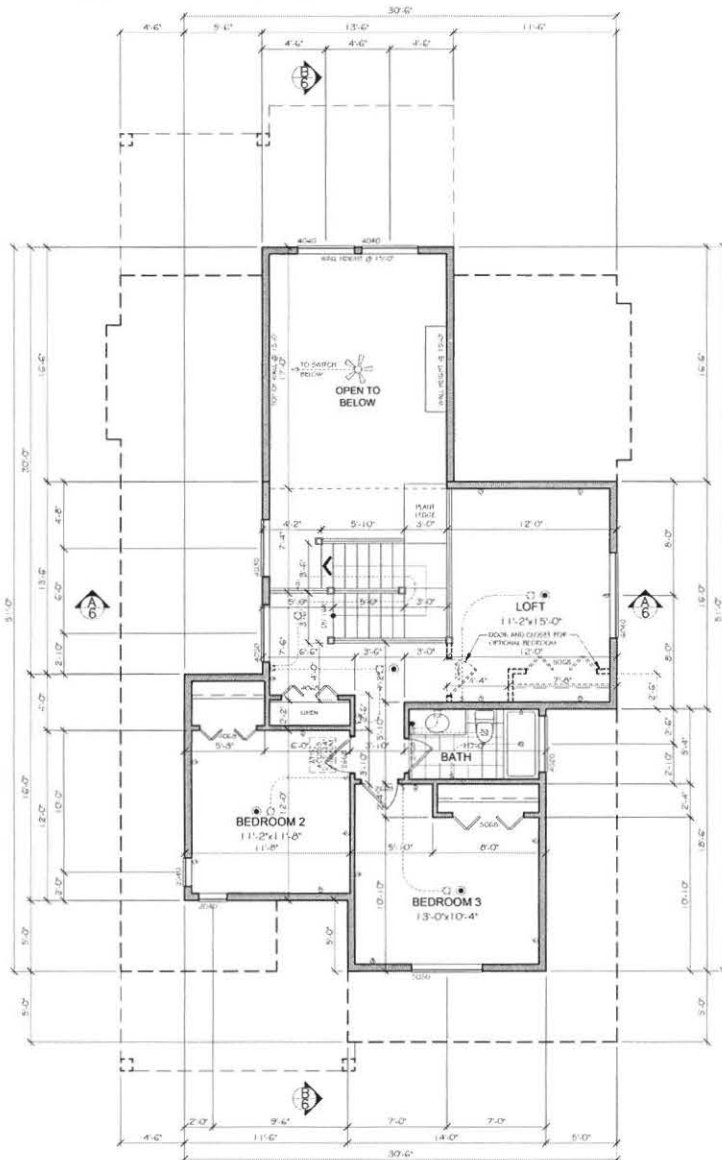
Designed/Drawn By:
G.A.H.P.

Checked:
C.H.

Date:
January 17, 2017

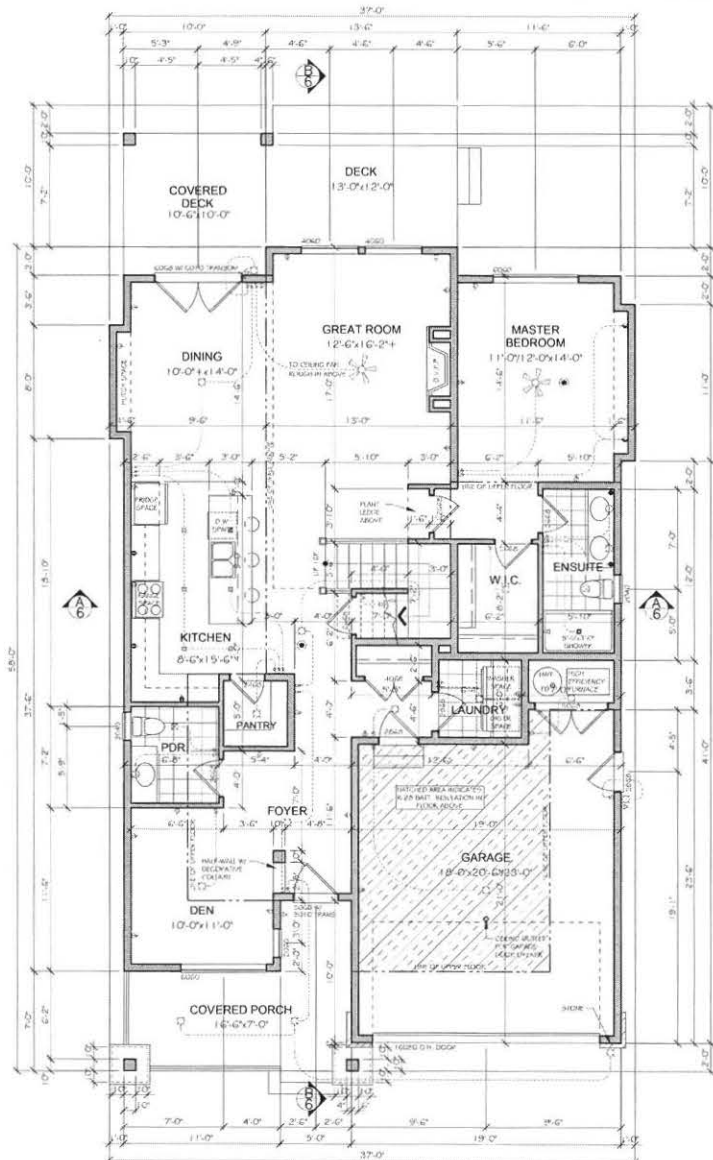
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Sheet Number:
A2.0



UPPER FLOOR PLAN

FLOOR AREA = 703 SQ.FT.



MAIN FLOOR PLAN

FLOOR AREA = 1422 SQ.FT.
TOTAL FLOOR AREA = 2125 SQ.FT.

Key Plan

Project North

Revisions

#	Description	Date
1	Initial Design	04/08/17
2	Revised Design	03/27/17
3	Revised Design	03/27/17
4	Revised Design	03/27/17
5	Revised Design	03/27/17
6	Revised Design	03/27/17
7	Revised Design	03/27/17
8	Revised Design	03/27/17
9	Revised Design	03/27/17
10	Revised Design	03/27/17

Client

Genica Developments

ELECTRICAL SCHEDULE

SYMBOL	DESCRIPTION
SW	SWITCHES
1	1 POLE 240V
2	2 POLE 240V
3	3 POLE 240V
4	4 POLE 240V
5	5 POLE 240V
6	6 POLE 240V
7	7 POLE 240V
8	8 POLE 240V
9	9 POLE 240V
10	10 POLE 240V
11	11 POLE 240V
12	12 POLE 240V
13	13 POLE 240V
14	14 POLE 240V
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91	91 POLE 240V
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93	93 POLE 240V
94	94 POLE 240V
95	95 POLE 240V
96	96 POLE 240V
97	97 POLE 240V
98	98 POLE 240V
99	99 POLE 240V
100	100 POLE 240V

Project

Aquadel Crossing
Plan A2R

Drawing Title
Main Floor Plan
Upper Floor Plan

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2A8

Tel: 604.662.8008
Fax: 604.662.8079
www.i3design.ca

Designed/Drawn By: i3 design
Checked: Gm

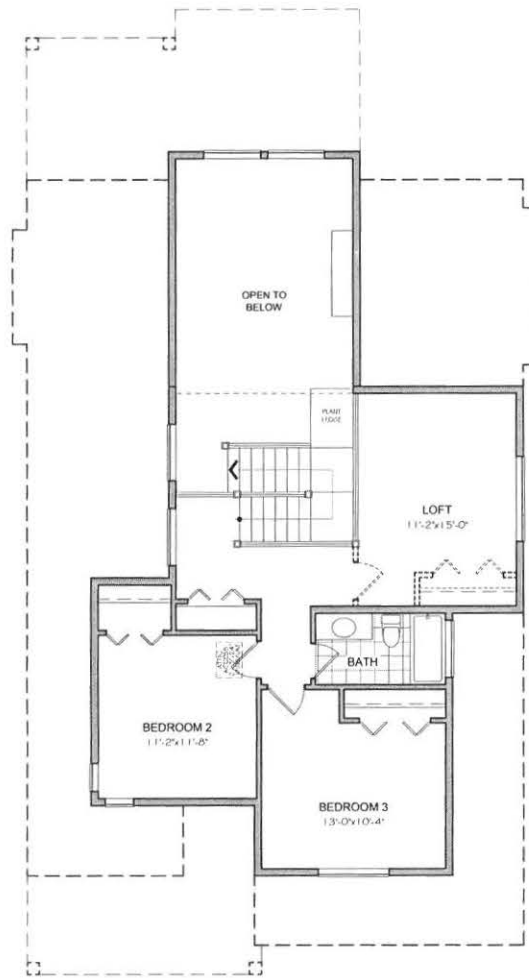
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UPPER STRUCTURAL PLAN



MAIN STRUCTURAL PLAN

Key Plan

Project North

Revisions

#	Description	Date
1	Issue Revised 15	04/06/17
2	Issue Revised 15	03/27/17
3	Issue Revised 15	03/27/17
4	Issue Revised 15	03/27/17
5	Issue Revised 15	03/27/17
6	Issue Revised 15	03/27/17
7	Issue Revised 15	03/27/17
8	Issue Revised 15	03/27/17
9	Issue Revised 15	03/27/17
10	Issue Revised 15	03/27/17
11	Issue Revised 15	03/27/17
12	Issue Revised 15	03/27/17
13	Issue Revised 15	03/27/17
14	Issue Revised 15	03/27/17
15	Issue Revised 15	03/27/17
16	Issue Revised 15	03/27/17
17	Issue Revised 15	03/27/17
18	Issue Revised 15	03/27/17
19	Issue Revised 15	03/27/17
20	Issue Revised 15	03/27/17

Client

Genica Developments

Project

Aquadel Crossing
Plan A2R

Drawing Title

Structural Plans

Drawn By

4723 Hastings Street
Burnaby, B.C.
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Fax: 604.662.8078
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i3 design

Designed/Drawn By
G.M.H.

Checked
G.M.

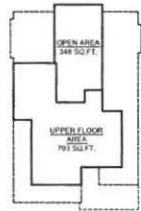
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Sheet Number
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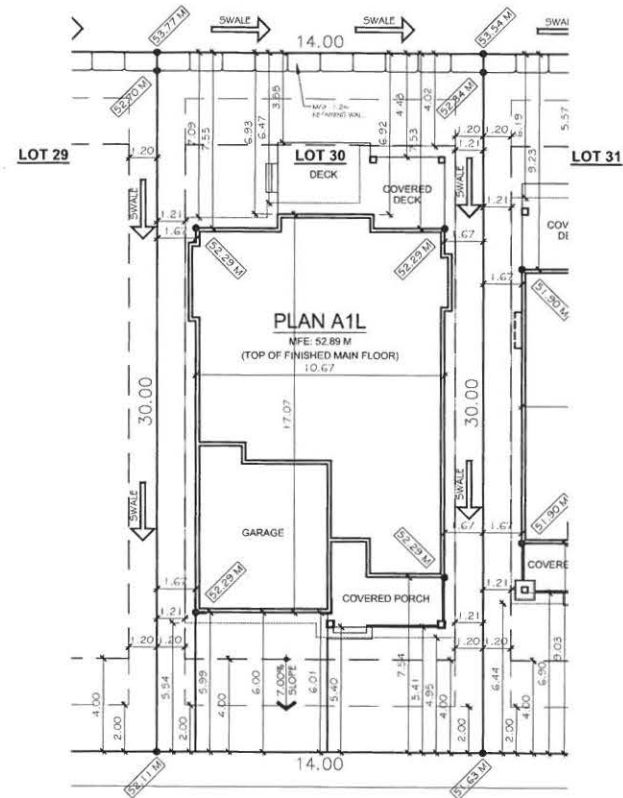
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A6.0



AREA SCHEMATICS
SCALE: 1/16" = 1'-0"

PROJECT INFORMATION			
CIVIC ADDRESS			
LOT NUMBER			
LEGAL DESCRIPTION			
ZONING DISTRICT			
SETBACKS (CLEAR TO SKY)			
FRONT (TO BUILDING)	4.00 M	13.12 FT	
REAR (TO BUILDING)	4.00 M	13.12 FT	
FRONT (TO DECK)	2.00 M	6.56 FT	
REAR (TO DECK)	2.00 M	6.56 FT	
SIDE (INTERIOR)	1.20 M	3.94 FT	
SIDE (PARKING)	2.00 M	6.56 FT	
SITE AREA			
PERMITTED	432,000 SQ. M	450,000 SQ. FT.	
SITE COVERAGE			
PERMITTED	231,000 SQ. M	240,000 SQ. FT.	55.00 %
PROPOSED	204,775 SQ. M	213,000 SQ. FT.	48.75 %
GROSS FLOOR AREA			
MAIN FLOOR	132,107 SQ. M	1422 SQ. FT.	
UPPER FLOOR	63,311 SQ. M	793 SQ. FT.	
GARAGE FLOOR	30,639 SQ. M	483 SQ. FT.	
PROPOSED	235,500 SQ. M	2535 SQ. FT.	



SITE PLAN
SCALE: 1/8" = 1'-0"

Key Plan

Project North

Revisions

#	Description	Date
1	Issue Release 101	03/27/17
2	Issue Release 102	03/27/17
3	Issue Release 103	03/27/17
4	Issue Release 104	03/27/17
5	Issue Release 105	03/27/17
6	Issue Release 106	03/27/17
7	Issue Release 107	03/27/17
8	Issue Release 108	03/27/17
9	Issue Release 109	03/27/17
10	Issue Release 110	03/27/17

Client

Genica Developments

Project

Aquadel Crossing
Plan A1L
Lot 30

Drawing Title

Site Plan

Drawn By:

4223 Hastings Street
Burnaby, B.C.
V5C 3K8

Tel: 604.662.8008
Fax: 604.662.8078
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i3 design

Designed/Drawn By:

GA: GH

Checked:

GA

Date:

February 13, 2017

Scale:

1/8" = 1'-0"

Sheet Number

A1.0

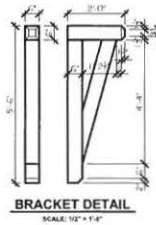
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LEFT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA: 104 SQ. FT.
 RAILING DISTANCE: 4'-0"
 PERMITTED OPENINGS: 65.56 SQ. FT. 7.60%
 UNPROTECTED OPENINGS: 37.74 SQ. FT. 4.15%



BRACKET DETAIL
SCALE: 1/2" = 1'-0"



RIGHT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA: 61.5 SQ. FT.
 RAILING DISTANCE: 4'-0"
 PERMITTED OPENINGS: 40.40 SQ. FT. 7.60%
 UNPROTECTED OPENINGS: 18.00 SQ. FT. 4.45%



FRONT ELEVATION



REAR ELEVATION

Key Plan

Project North

Revisions

#	Description	Date
1	Issue Revised	03/27/17
2	Issue Revised	03/27/17
3	Issue Revised	03/27/17
4	Issue Revised	03/27/17
5	Issue Revised	03/27/17
6	Issue Revised	03/27/17
7	Issue Revised	03/27/17
8	Issue Revised	03/27/17
9	Issue Revised	03/27/17
10	Issue Revised	03/27/17

Client

Genica Developments

Project

**Aquadel Crossing
Plan A1L
Lot 30
Elevations**

Drawn By:

4732 Hastings Street
Burnaby, B.C.
V5C 7K8

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Designed/Drawn By: GJM
Checked: GJM

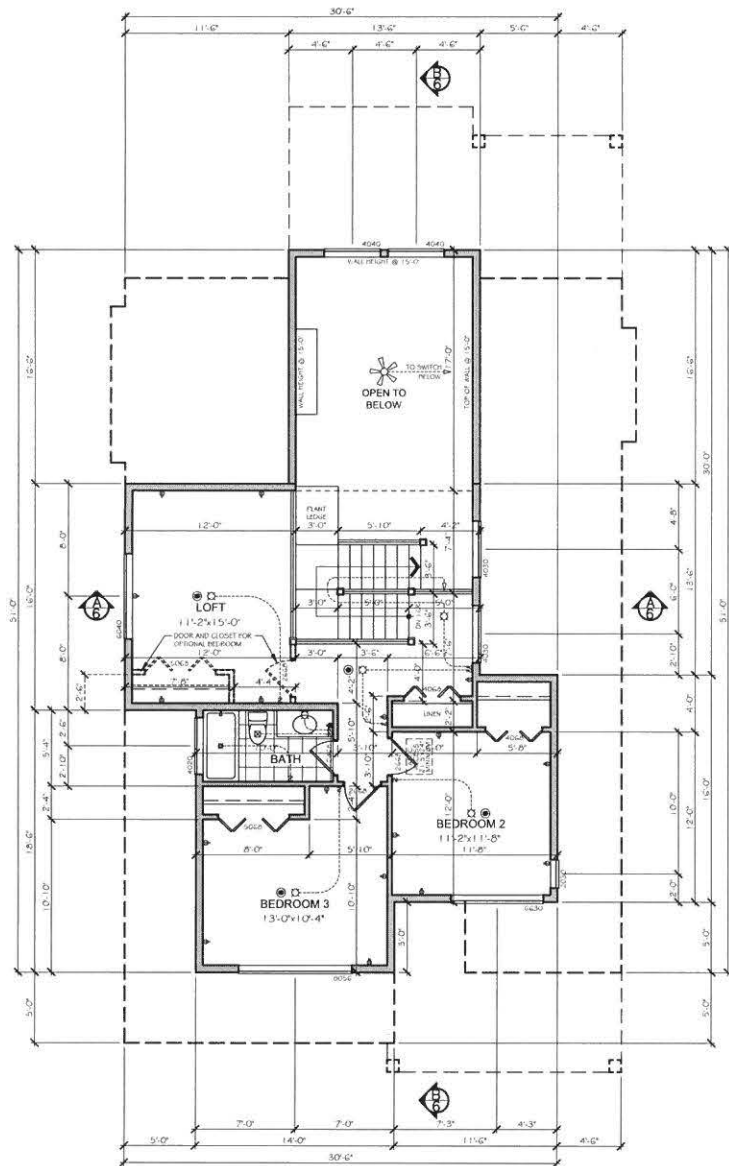
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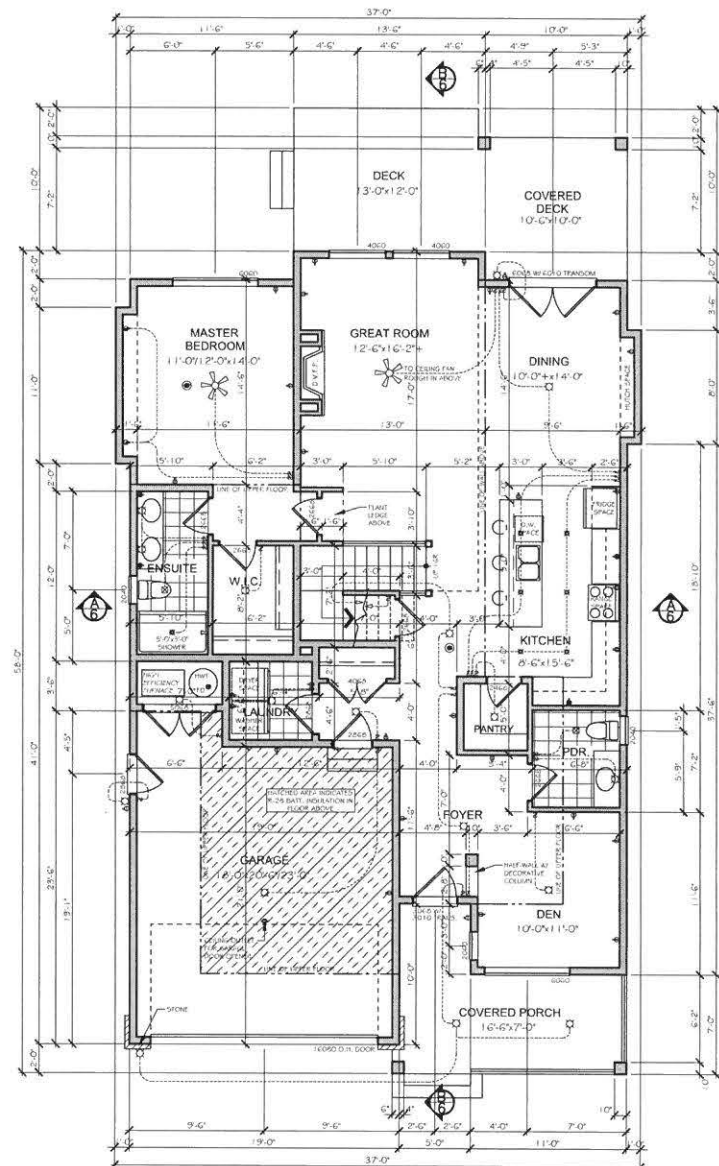
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UPPER FLOOR PLAN

FLOOR AREA = 703 SQ.FT.



MAIN FLOOR PLAN

FLOOR AREA = 1422 SQ.FT.
TOTAL FLOOR AREA = 2125 SQ.FT.

NOTE: ELECTRICAL LAYOUT FOR REFERENCE ONLY. ALL ELECTRICAL PAGING AND ELECTRIC BACKBOARD RE-ATEP LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.

THIS FLOOR PLAN IS NOT DESIGNED IN ACCORDANCE WITH THE 2012 EDITION OF THE B.C. BUILDING CODE

Key Plan

Project North

Revisions

#	Description	Date
1	Issue for Review	03/27/17
2	Issue for Review	03/27/17
3	Issue for Review	03/27/17
4	Issue for Review	03/27/17
5	Issue for Review	03/27/17

Client:

Genica Developments

ELECTRICAL SCHEDULE

QTY	DESCRIPTION
SWITCHES	
1	3-WAY SWITCH
1	4-WAY SWITCH
1	DIMMER SWITCH
LIGHTS	
1	PULL CHAIN LIGHT
1	POST LIGHT
1	TRACK LIGHT
1	FLUORESCENT
RECEPTACLES	
1	OUTLET
1	SWITCHED
1	SPLIT
1	GROUND FAULT
1	WATERPROOF
1	220V
1	CEILING
1	FLOOR
MISCELLANEOUS	
1	PHONE JACK
1	TV CABLE
1	DATA/TEL./CABLE
1	SMOKE ALARM
1	CEILING FAN
1	CEILING FAN/FLAUGHT
1	EXHAUST FAN
MECHANICAL	
1	FORCED AIR FLOOR
1	FORCED AIR CEILING
1	THERMOSTAT
1	SOLAR WNK CONDUIT
1	HOSE BIBB
1	4" DRAIN

Project:

Aquadel Crossing Plan A1L Lot 30

Drawing Title:

Main Floor Plan Upper Floor Plan

Drawn By:

4733 Hastings Street
Burnaby, B.C.
V5C 2H8

Tel: 604.662.8008
Fax: 604.662.8008
www.i3design.ca

Designed/Drawn By:

Gal ON

Checked:

Gal

Date:

January 17, 2017

Scale:

1/4" = 1'-0"

Sheet Number:

A3.0

ROOF PLAN

FOUNDATION PLAN

FLOOR AREA = 1423 SQ.FT.

Key Plan		
Project Month		
Revisions		
#	Description	Date
1	House Raised 18"	
2	Wood Deck Added	
3	Single Large Added (Kitchen)	03/27/17
4	Single Large Added (Bathroom)	
5	Garage Wall 1/2" Insulation	03/24/17
6	Plan Revised	02/13/17
7	Garage Wall 1/2" Insulation	
8	Basement Floor 1/2" Insulation	02/06/17
9	Basement Floor 1/2" Insulation	
10	Basement Floor 1/2" Insulation	01/17/17

Client:
**Genica
Developments**

ELECTRICAL SCHEDULE	
QTY	DESCRIPTION
	SWITCHES
	1 SWITCH
	3 WAY SWITCH
	1 WAY SWITCH
	1 DIMMER SWITCH
	LIGHTS
	1 PULL CHAIN LIGHT
	1 POT LIGHT
	1 TRACK LIGHT
	1 FLUORESCENT
	RECEPTACLES
	1 OUTLET
	1 OUTLECHD
	1 SPLIT
	1 GROUND FAULT
	1 WATERPROOF
	1 EPO
	1 CEILING
	1 FLOOR
	MISCELLANEOUS
	1 PHONE JACK
	1 TV CABLE
	1 REMOVABLE
	1 SHAMINE ALARM
	1 CEILING FAN
	1 CEILING FAN/LIGHT
	1 EXHAUST FAN
	MECHANICAL
	1 FORCED AIR FLOOR
	1 FORCED AIR CEILING
	1 THERMSTAT
	1 SOLAR SENS CONDUIT
	1 1/2" BRASS
	1 4" DRINK

Project
Aquadel Crossing
Plan A1L
Lot 30

Drawing Title
Basement Plan
Roof Plan

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 3N8

Tel: 604.662.8008
Fax: 604.662.8078
www.i3design.ca

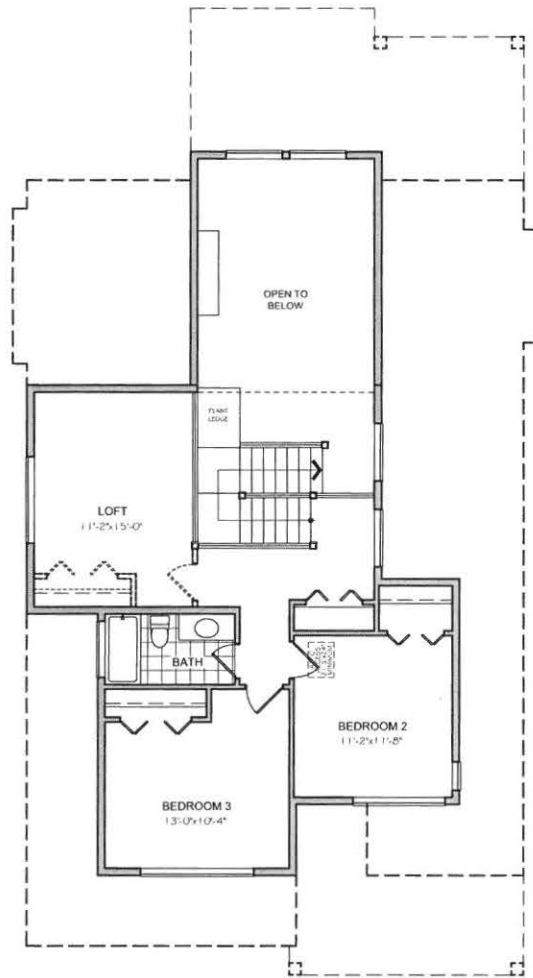
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Designed/Drawn By GM/DPN	Checked GM
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Sheet Number	

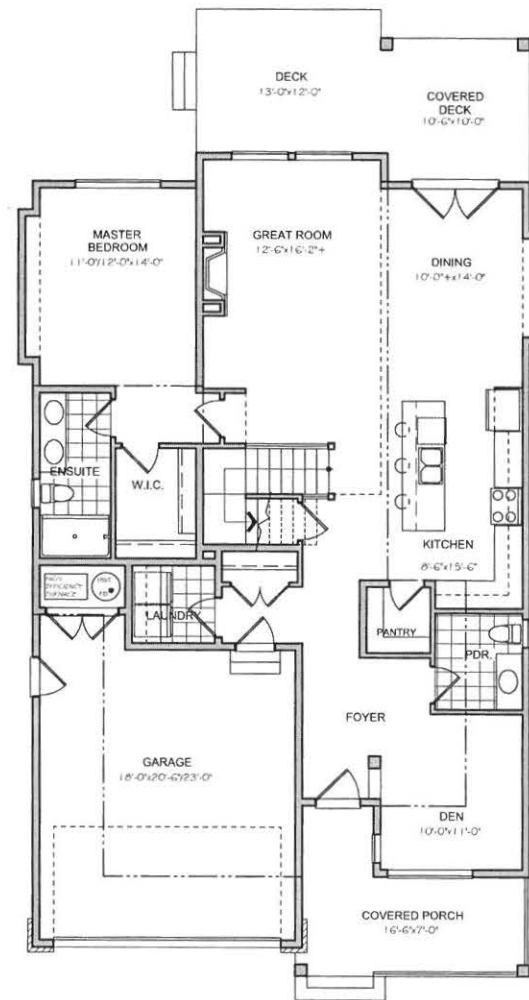
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UPPER STRUCTURAL PLAN



MAIN STRUCTURAL PLAN

Key Plan

Project North

Revisions

#	Description	Date
1	Initial Review	03/17/17
2	Initial Review	03/17/17
3	Initial Review	03/17/17
4	Initial Review	03/17/17
5	Initial Review	03/17/17
6	Initial Review	03/17/17
7	Initial Review	03/17/17
8	Initial Review	03/17/17
9	Initial Review	03/17/17
10	Initial Review	03/17/17

Client

Genica
Developments

Project

Aquadel Crossing
Plan A1L
Lot 30

Drawing Title
Structural Plans

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 3K8

Tel: 604.642.8008
Fax: 604.642.8078
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Designed/Drawn By:
Gib (DH)

Checked:
Gib

Date:
January 17, 2017

Scale:
1/4" = 1'-0"

Sheet Number:
A5.0

THESE PLANS HAVE BEEN REVISED IN ACCORDANCE
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ASSEMBLY SPECIFICATIONS:

1. ROOF ASSEMBLY:

- 1/2" OSB SHEATHING
- 7/16" PLYWOOD SHEATHING
- INSULATION
- 2" CLEARANCE
- 2x12 RAFTERS @ 24" O.C. w/ 2x4 BRACES STRAPPED w/ 2x4 O.C. OR ENGINEERED RAY TRUSSES (SEE PLAN)
- WIND SCOFF

2. CEILING ASSEMBLY:

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

3. EXTERIOR RAINSCREEN WALL ASSEMBLY:

- 1/2" OSB SHEATHING
- PRESSURE TREATED STRAPPING OR APPROVED EQUIVALENT
- BRICKWORK
- 3/4" SHEATHING
- 2x6 BRILL TRUSS @ 16" O.C. w/ 1x4 PER PLAN
- 4x12 O.C. BATT INSULATION
- 1/2" POLY-ISO INSULATION
- 1/2" GYPSONUM WALL BOARD

4. INTERIOR WALL ASSEMBLY:

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

5. FLOOR ASSEMBLY:

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

6. FOUNDATION ASSEMBLY:

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

- 1/2" OSB SHEATHING
- 1/2" POLY-ISO INSULATION
- 3/4" GYPSONUM WALL BOARD

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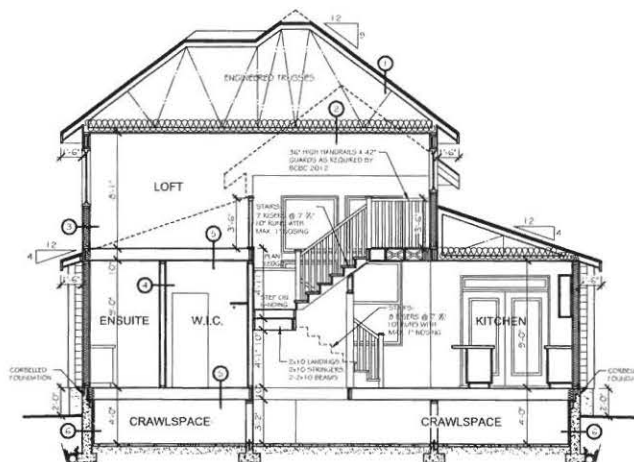
- 1/2" OSB SHEATHING
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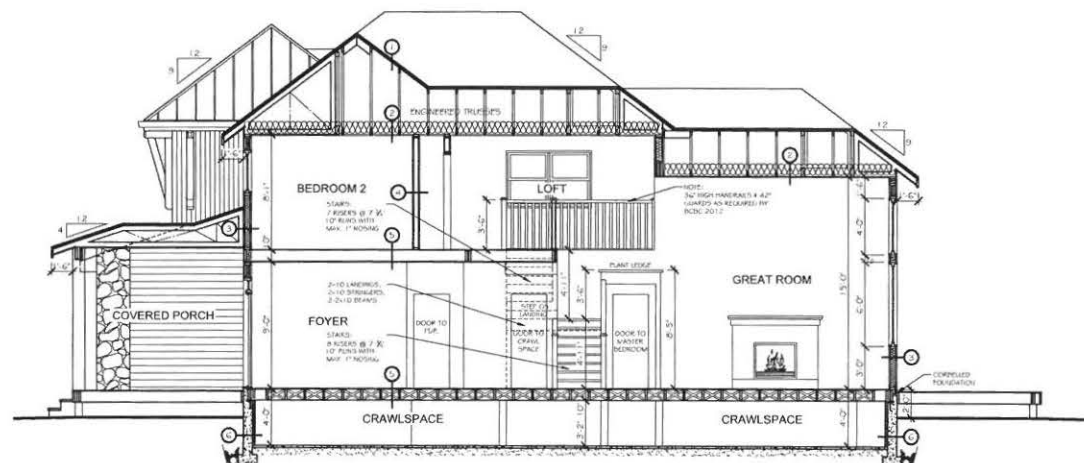
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- 1/2" POLY-ISO INSULATION
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SECTION A



SECTION B

Any Plan

Project North

Revisions

#	Description	Date
1	Issue Revised 1st	03/27/17
2	Issue Revised 2nd	03/27/17
3	Issue Revised 3rd	03/27/17
4	Issue Revised 4th	03/27/17
5	Issue Revised 5th	03/27/17
6	Issue Revised 6th	03/27/17
7	Issue Revised 7th	03/27/17
8	Issue Revised 8th	03/27/17
9	Issue Revised 9th	03/27/17
10	Issue Revised 10th	03/27/17

Client

Genica
Developments

Project

Aquadel Crossing
Plan A1L
Lot 30

Drawing Title
Building Sections
Assembly Specs

Drawn By:
4023 Hastings Street
Burnaby, B.C.
V5C 2K8

Designed/Drawn By
GK: DM

Date
January 17, 2017

Sheet Number
A6.0

THESE PLANS HAVE BEEN DESIGNED BY A LICENSED ARCHITECT IN ACCORDANCE WITH THE 2012 EDITION OF THE B.C. BUILDING CODE

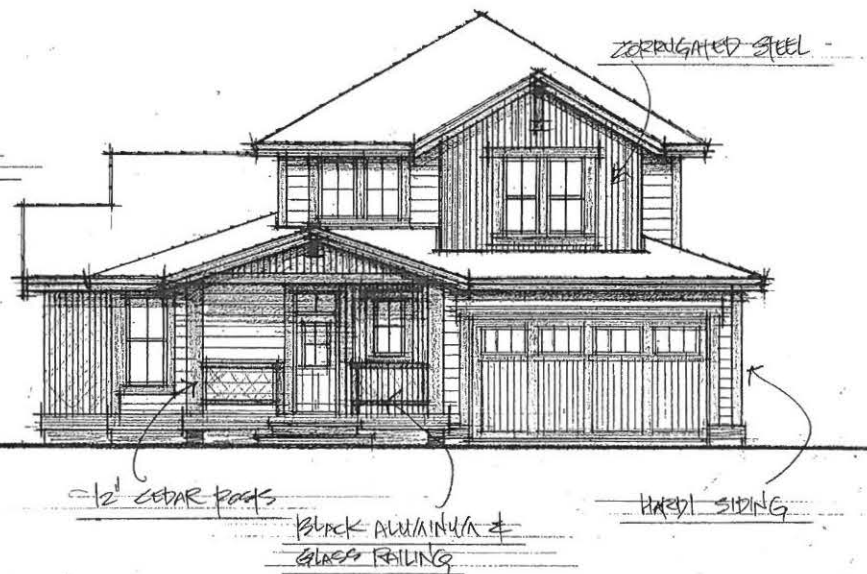
MAY 2 / 2010

AQUADEL II - LOT # 46 (PLAN D)

TOTAL: 1875 SQ. FT.



FLANKING SIDE ELEVATION

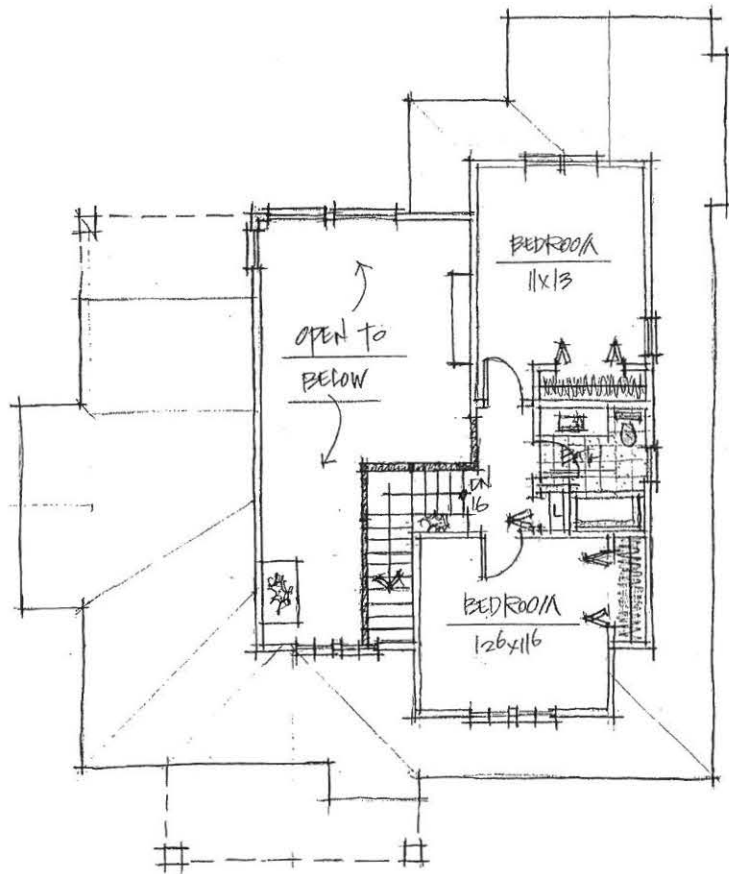


FRONT ELEVATION

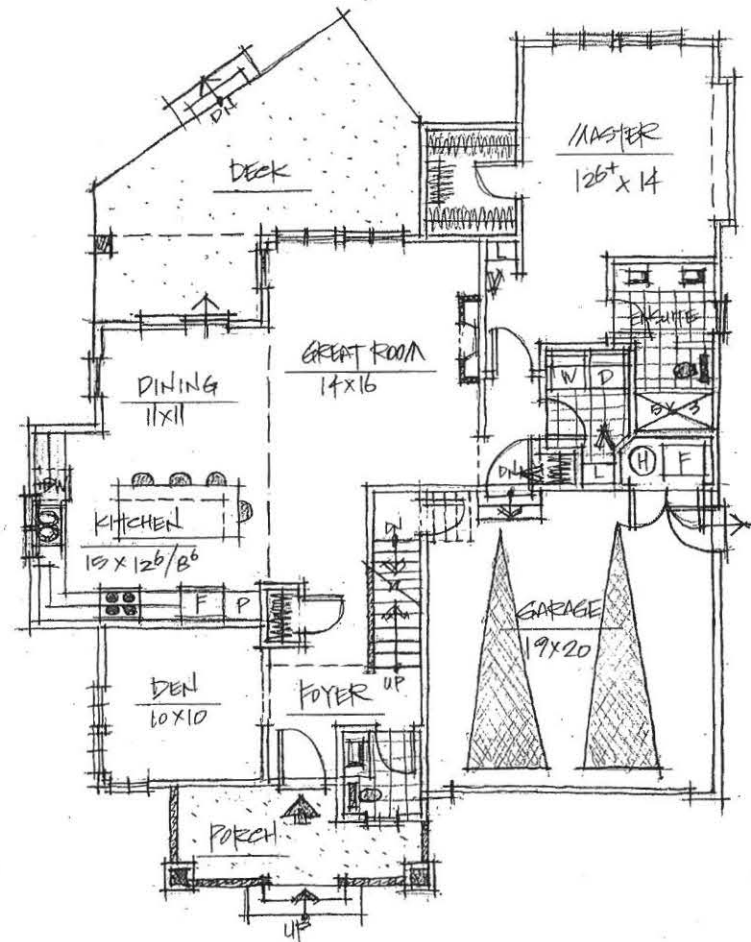
AQUAVEL LOT #46 - PLAN D

TOTAL: 1875 SQ. FT.

46' x 52' / 56'



UPPER FLOOR - 490 SQ. FT.



MAIN FLOOR - 1385 SQ. FT.

