

To: Electoral Area Services Committee

Date: 2018-09-05

From: David Bennett, Planner II

File No: 3095-20-2017-03

**Subject: The purpose of Temporary Use Permit 2017-03 is to permit the crushing of aggregate material (boulders). Boulders and rocks will be sourced from 10789 North Deroche Road and screened and crushed for no more than 15 days at 10699 North Deroche Road.**

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### RECOMMENDATION

That the Fraser Valley Regional District Board issue Temporary Use Permit 2017-03 for the processing of aggregate material at 10699 North Deroche Road.

#### STRATEGIC AREA(S) OF FOCUS

Support Environmental Stewardship  
Support Healthy & Sustainable Community  
Provide Responsive & Effective Public Services

#### PRIORITIES

Priority #2 Air & Water Quality

### BACKGROUND

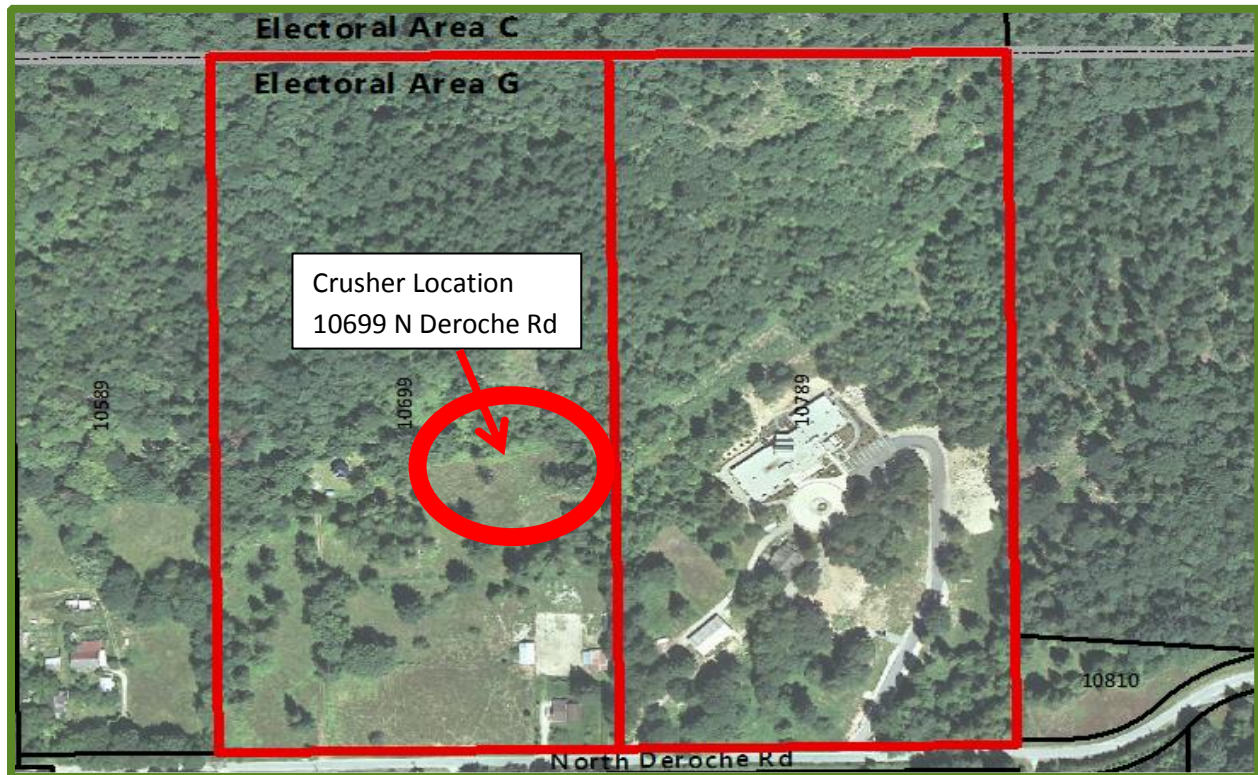
#### Proposal Description

The purpose of Temporary Use Permit 2017-03 is to permit the crushing of aggregate material (boulders). Boulders and rocks will be sourced from 10789 North Deroche Road and screened and crushed for no more than 15 days at 10699 North Deroche Road. Hours of operation are restricted to Monday to Friday from 9:00AM to 5:00PM. The anticipated start date is November or December 2018.

PROPERTY DETAILS			
Electoral Area	G		
Address	10789 and 10699 North Deroche Road		
PID	007-331-525 and 010-888-446		
Folio	775.03662.200 & 775.03662.100		
Lot Size	19.7 acres		
Owner	Canadian Carmelite Charitable Society	Agent	JCA (Owens)
Current Zoning	Rural 1 (R-1) & Civic Assembly (P-1)	Proposed Zoning	No change
Current OCP	Institutional and Rural	Proposed OCP	No change
Current Use	Theological School	Proposed Use	Temp. crushing
Development Permit Areas	DPA 1-G and DPA 2-G		
Agricultural Land Reserve	No		

<b>North</b>	^	Rural 3 (R-3) / Crown Land
<b>East</b>	>	Rural 1 (R-1) / Residential
<b>West</b>	<	Rural 1 (R-1) / Residential
<b>South</b>	v	Multi-Use Residential (RS-2) / Residential & Agricultural

## PROPERTY MAP



## DISCUSSION

The Canadian Carmelite Charitable Society (CCCS) owns both 10699 North Deroche Road and 10789 North Deroche Road. 10789 North Deroche Road is used as a Theological School and CCCS is constructing a new meeting hall at this location. During the excavation for the new meeting hall many large boulders and rocks were unearthed. The CCCS has applied for a Temporary Use Permit to crush these large boulders into aggregate material for use on site.

The applicant's rationale for the crushing is as follows:

- A large quantity of aggregate material is required for the site's parking areas, trails, paths, backfill and construction.
- If aggregate were to be brought to the site from a gravel pit, CCCS estimates that approximately 900 return truck trips would be required.
- In an effort to reduce future truck traffic for importing aggregate materials, CCCS proposing to convert all the stored boulders converted into gravel by having a Cone Crusher operating on site.
- Crushing on site will eliminate truck trips and lower the site's carbon footprint.
- The duration of the crushing is only for approximately 15 days.
- The crushing location is setback approximately 450 from North Deroche Road.

## **Neighbourhood Impacts**

Crushing creates the potential for dust and noise nuisance to the neighbourhood. The draft permit includes qualitative limits on both dust and noise. The applicants must also prepare a dust mitigation plan before crushing can commence. The applicants estimate that about 6000 m<sup>3</sup> will be crushed and the whole process should take about 15 days. The timing of the crushing is anticipated to take place towards the end of November or early December. These months are typically wetter and neighbours should be less impacted than if the crushing were to be taking place during the summer months when people are typically enjoying the outdoor use of their properties.

The draft permit conditions for dust and noise are as follows:

### **Hours of Operation**

1. The hours of operation for the stockpiling, sorting, moving, loading, processing (screening and crushing) of aggregate material is limited to the hours of 9:00 am to 5:00 pm Monday to Friday excluding Statutory Holidays.

### **Maximum Duration of Operation**

1. During the four (4) months period in which this permit is valid, the processing (screening and crushing) of aggregate material shall not exceed 15 days.

### **Noise**

1. No person shall cause or permit noise related to aggregate processing to exceed sixty (60) dBA Leq (1 hour) exclusive of ambient sound when measured at any point along the property line of a receiving parcel or at any point within a receiving parcel.
2. Material stockpiled from any aggregate processing shall be done so to maximize sound deflection away from neighbours located to the South and West.
3. The requirements of this permit do not apply to the noise that may be generated by the movement of trucks entering or exiting the lands affected by this permit.

### **Dust**

1. No person may cause or permit dust associated with aggregate processing to escape from the permit area so as to constitute a nuisance on any other lands.
2. No person may cause or permit dust associated with aggregate processing to result in:
  - a. Dustfall over an average period of two (2) weeks in excess of 1.7 mg/(dm<sup>2</sup>-d), or
  - b. Total Suspended Particulate Matter over an average period of twenty four (24) hours in excess of 120 µg/m<sup>3</sup>, on any other lands.
3. Dust shall be controlled with water sprays on the haul roads, processing sites, stockpiles and other dust emission points during operations.

4. Prior to commencement of any aggregate processing, the holder of this permit must provide a dust mitigation plan prepared by a Registered Professional stating that, in the opinion of the Registered Professional, the dust control methods proposed by the applicant are operational and will result in dust levels that comply with the dust conditions of this permit. The dust mitigation plan shall include identification of sources of dust within the permit area, specific primary and contingency methods to control dust at each source, general methods to prevent the transmission of dust from within the permit area to adjacent lands, and proposed methods to monitor and report dust emissions.

### **Neighbourhood Consultation**

The CCCS were encouraged to engage with neighbours along North Deroche Road to explain this proposal. A letter was sent by CCCS to about 40 neighbours in mid August 2018 (copy attached). CCCS forwarded copies of returned comments (redacted responses attached).

The Official Community Plan policies for Temporary Use Permits normally require a public information meeting prior to the Board's consideration of a permit. Temporary Use Permits are typically requested for the maximum duration permitted by the local government act, which is three years. A three year duration is a considerable amount of time for neighbours and in those circumstances a public meeting is normally required. Staff are of the opinion that because this application is only for 15 days, the mailed notification by CCCS, and the statutory notifications are sufficient and additional meetings are not warranted. However, the Regional Board may wish to consider that the CCCS host an information meeting should the feedback received from the neighbourhood warrant further consultation. At the time of writing, the feedback received has been positive.

### **COST**

Temporary Use Permit fee, \$1500.00 paid by the applicant

### **CONCLUSION**

The proposed aggregate crushing is not a commercial operation. The proposal is to use locally sourced material on site to avoid increased truck traffic. The duration of the use is for 15 days during normal construction hours 9:00-5:00 Monday to Friday. The dust and noise mitigation standards are drawn from the new FVRD Gravel Operations Bylaw and a dust mitigation plan is required prior to any crushing. Staff recommend issuance of this Temporary Use Permit as drafted.

### **COMMENTS BY:**

<b>Graham Daneluz, Deputy Director of Planning &amp; Development</b>	Reviewed and Supported.
<b>Margaret Thornton, Director of Planning &amp; Development</b>	Reviewed and Supported.

**Mike Veenbaas, Director of Financial Services**

No further financial comment.

**Paul Gipps, Chief Administrative Officer**

Reviewed and supported