

SCHEDULE A-4

Permit Application

I / We hereby apply under Part 14 of the *Local Government Act* for a;

☐ Development Variance Permit

☐ Temporary Use Permit

☐ Development Permit

An Application Fee in the amount of \$_____ as stipulated in FVRD Application Fees Bylaw No. 1231, 2013 must be paid upon submission of this application.

Civic

Address _____ PID _____


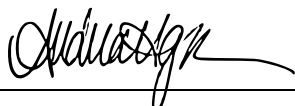
Legal Lot _____ Block _____ Section _____ Township _____ Range _____ Plan _____

Description

LOT 7 DISTRICT LOT 5671 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 65552

The property described above is the subject of this application and is referred to herein as the 'subject property.' This application is made with my full knowledge and consent. I declare that the information submitted in support of the application is true and correct in all respects.

Owner's
Declaration

Name of Owner (print)	Signature of Owner 	Date
Name of Owner (print)	Signature of Owner 	Date

Owner's
Contact
Information

Office Use Only	Date	File No.
	Received By	Folio No.
	Receipt No.	Fees Paid: \$

Agent

I hereby give permission to _____ to act as my/our agent in all matters relating to this application.

Only complete this section if the applicant is NOT the owner.

Signature of Owner	Date
Signature of Owner	Date

Agent's contact information and declaration

Name of Agent		Company
Address		City
Email		Postal Code
Phone	Cell	Fax

I declare that the information submitted in support of this application is true and correct in all respects.

Signature of Agent	Date
--------------------	------

Development Details

Property Size _____ Present Zoning _____

Existing Use _____

Proposed Development _____

Proposed Variation / Supplement _____

(use separate sheet if necessary)

Reasons in Support of Application _____

**Riparian
Areas
Regulation**

Please indicate whether the development proposal involves residential, commercial, or including vegetation removal or alteration; soil disturbance; construction of buildings and structures; creation of impervious or semi-pervious surfaces; trails, roads, docks, wharves, bridges and, infrastructure and works of any kind – within:

yes no
☐ ☐

30 metres of the high water mark of any water body

yes no
☐ ☐

a ravine or within 30 metres of the top of a ravine bank

“Water body” includes; 1) a watercourse, whether it usually contains water or not; 2) a pond, lake, river, creek, or brook; 3) a ditch, spring, or wetland that is connected by surface flow to 1 or 2 above.

Under the *Riparian Areas Regulation* and the *Fish Protection Act*, a riparian area assessment report may be required before this application can be approved.

**Contaminated
Sites Profile**

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed “Site Profile” for properties that are or were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*. Please indicate if:

yes no
☐ ☐

the property has been used for commercial or industrial purposes.

If you responded ‘yes,’ you may be required to submit a Site Profile. Please contact FVRD Planning or the Ministry of Environment for further information.

**Archaeological
Resources**

Are there archaeological sites or resources on the subject property?

yes no I don’t know
☐ ☐ ☐

If you responded ‘yes’ or ‘I don’t know’ you may be advised to contact the Archaeology Branch of the Ministry of Tourism, Sport and the Arts for further information.

Required Information

When providing Application Forms to the applicant, Regional District staff shall indicate which of the following attachments are required for this application. **Additional information may also be required at a later date.**

	Required	Received	Details
Location Map			Showing the parcel (s) to which this application pertains and uses on adjacent parcels
Site Plan At a scale of: 1: _____			Reduced sets of metric plans
			North arrow and scale
			Dimensions of property lines, rights-of-ways, easements
			Location and dimensions of existing buildings & setbacks to lot lines, rights-of-ways, easements
			Location and dimensions of proposed buildings & setbacks to lot lines, rights-of-ways, easements
			Location of all water features, including streams, wetlands, ponds, ditches, lakes on or adjacent to the property
			Location of all existing & proposed water lines, wells, septic fields, sanitary sewer & storm drain, including sizes
			Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
			Natural & finished grades of site, at buildings & retaining walls
			Location of existing & proposed access, pathways
			Above ground services, equipment and exterior lighting details
			Location & dimensions of free-standing signs
			Storm water management infrastructure and impermeable surfaces
			Other:
Floor Plans			Uses of spaces & building dimensions
			Other:
Landscape Plan Same scale as site plan			Location, quantity, size & species of existing & proposed plants, trees & turf
			Contour information (_____ metre contour intervals)
			Major topographical features (water course, rocks, etc.)
			All screening, paving, retaining walls & other details
			Traffic circulation (pedestrian, automobile, etc.)
			Other:
Reports			Geotechnical Report
			Environmental Assessment
			Archaeological Assessment
			Other:

The personal information on this form is being collected in accordance with Section 26 of the *Freedom of Information and Protection of Privacy Act, RSBC 1996 Ch. 165* and the *Local Government Act, RSBC 2015 Ch. 1*. It will only be collected, used and disclosed for the purpose of administering matters with respect to **planning, land use management** and related **services delivered**, or proposed to be delivered, by the FVRD. Questions about the use of personal information and the protection of privacy may be directed to the FVRD Privacy Officer at 45950 Cheam Avenue, Chilliwack, BC V2P 1N6, Tel: 1-800-528-0061 FOI@fvrd.ca.

Location map of 47002 Snowmist Place



JUN 05 2010

SUBDIVISION PLAN OF D.L. 5671, GP. I, N.W.D.

TRACKER SURVEY SERVICES
6775 Lorne Drive
Sardis B.C. V2R 2G3
Cell: (604) 793-5858

UNORGANIZED TERRITORY
AT HEMLOCK VALLEY, B.C.

SCALE 1:1000 RED 60 1:2000

0 50m

DISTANCES ARE SHOWN IN METRES

LEGEND

BEARINGS ARE ASTRONOMIC DERIVED FROM
PLAN 5815-7

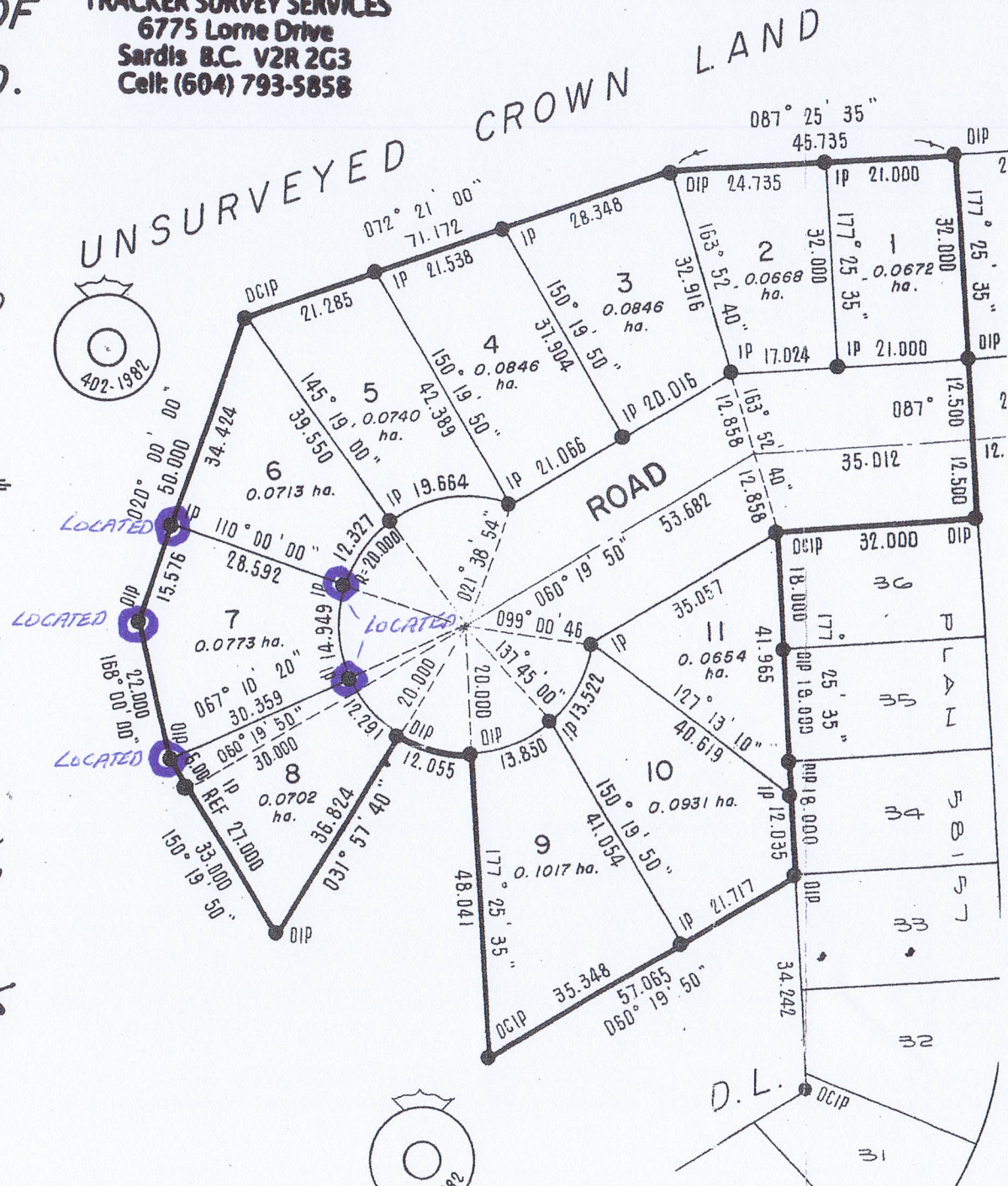
- DIP DENOTES IRON POST FOUND
- IP DENOTES IRON POST SET
- OCIP DENOTES CAPPED IRON POST FOUND

LOT BEARINGS ARE RADIAL EXCEPT WHERE
OTHERWISE NOTED.

I, DAVID V. TREVORROW, A BRITISH COLUMBIA LAND
SURVEYOR OF CHILLIWACK IN BRITISH COLUMBIA, CERTIFY
THAT I WAS PRESENT AT AND DID PERSONALLY SUPERINTEND
THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE
SURVEY AND PLAN ARE CORRECT. THE SAID SURVEY WAS
COMPLETED ON THE 6th DAY OF OCTOBER 1982.

David Trevorrow
B.C.L.S.

HEMLOCK VALLEY RECREATION LTD.



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6775 Lorne Drive
Sardis B.C. V2R 2G3
Cell: (604) 793-5858

UNORGANIZED TERRITORY
AT HEMLOCK VALLEY, B.C.

0 50m

DISTANCES ARE SHOWN IN METRES

LEGEND

BEARINGS ARE ASTRONOMIC DERIVED FROM
PLAN 5815-7

- OIP DENOTES IRON POST FOUND
● IP DENOTES IRON POST SET
● OCIP DENOTES CAPPE

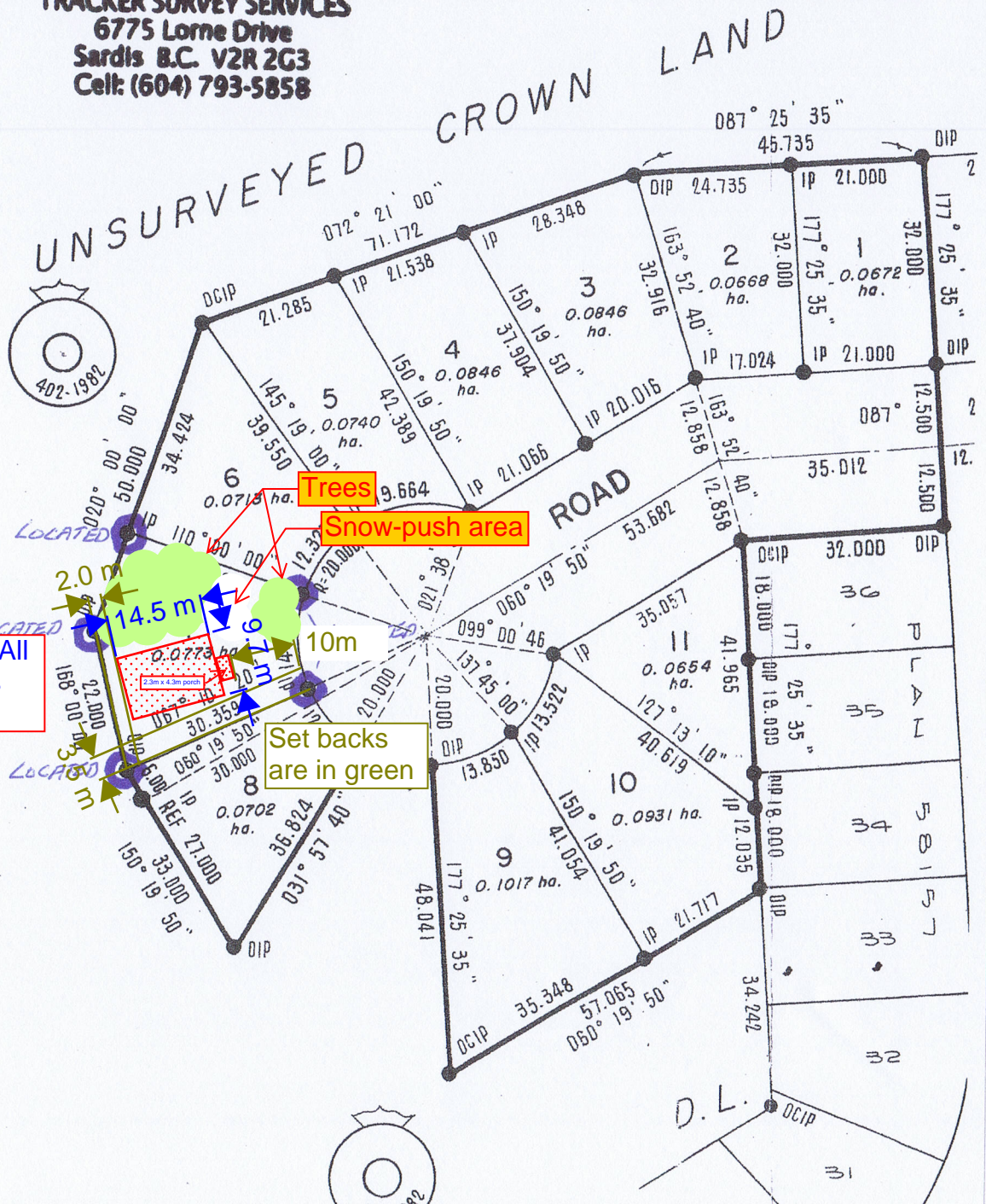
LOT BEARINGS ARE RA
OTHERWISE NOTED.

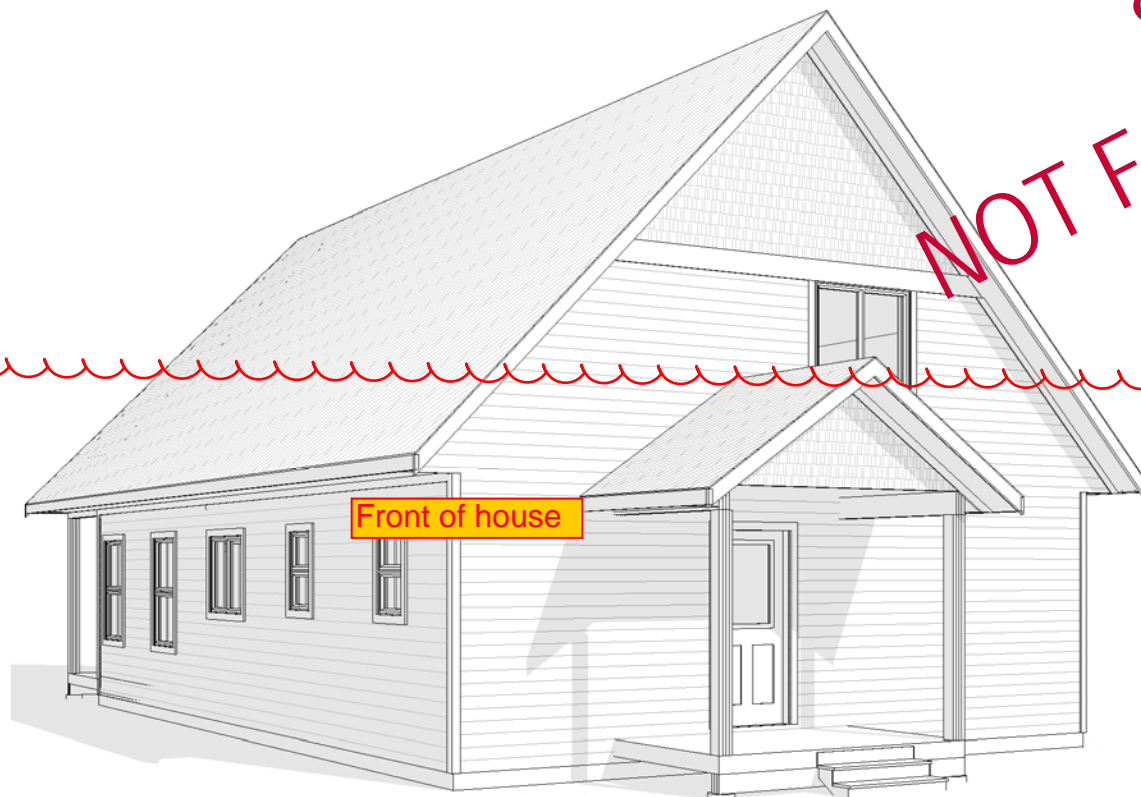
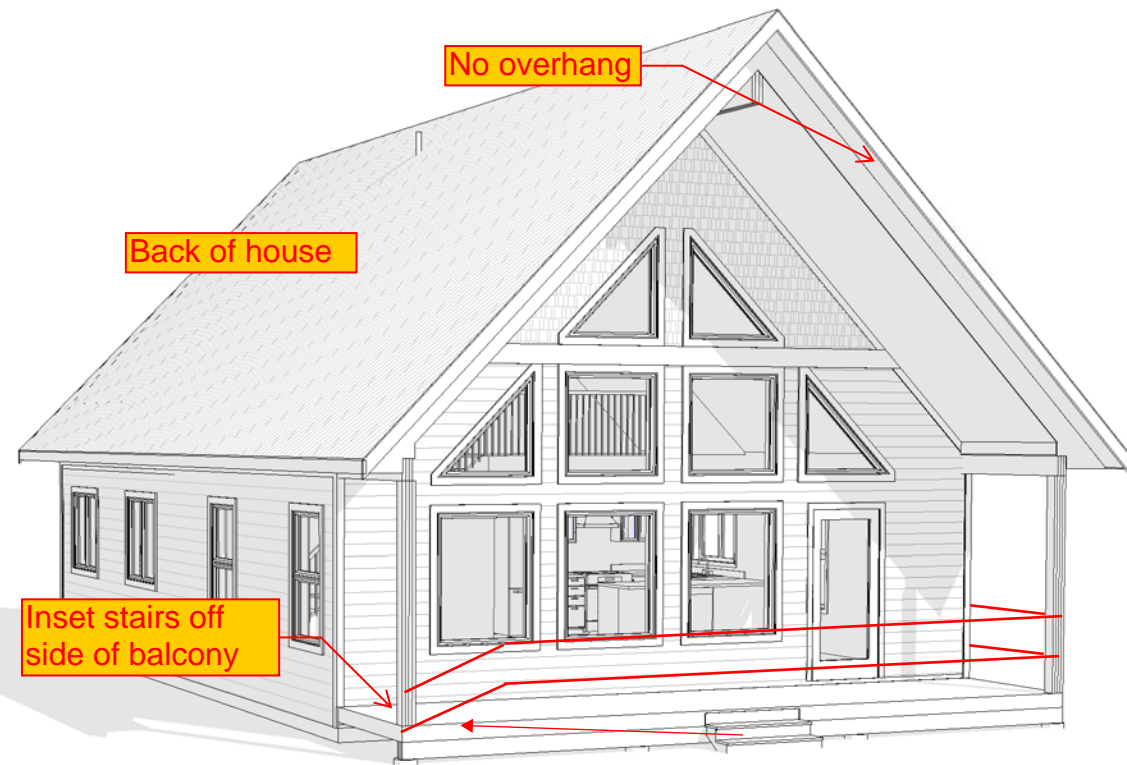
House dimensions are in blue. All measurements are from eaves (outermost projection)

I, DAVID V. TREVORROW, A BRITISH COLUMBIA LAND SURVEYOR OF CHILLIWACK IN BRITISH COLUMBIA, CERTIFY THAT I WAS PRESENT AT AND DID PERSONALLY SUPERINTEND THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE SAID SURVEY WAS COMPLETED ON THE 6th DAY OF OCTOBER 1982.

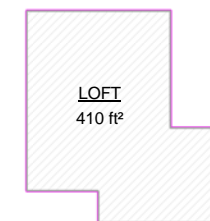
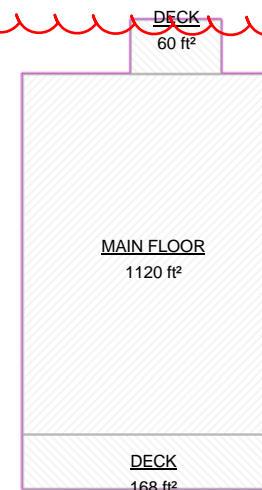
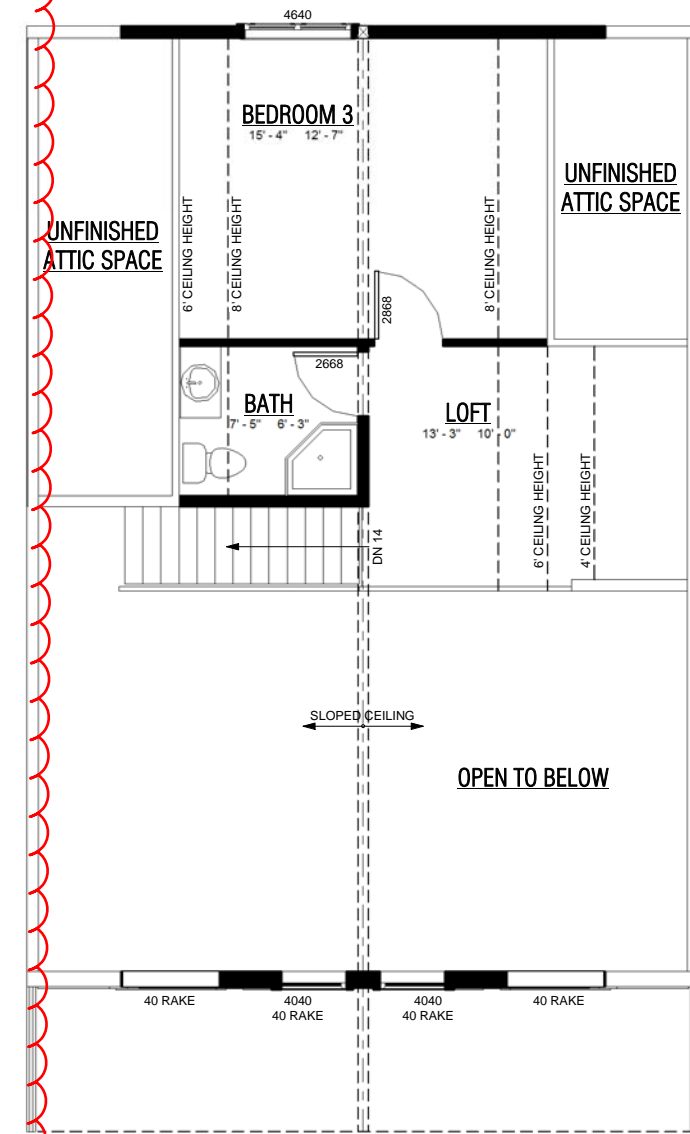
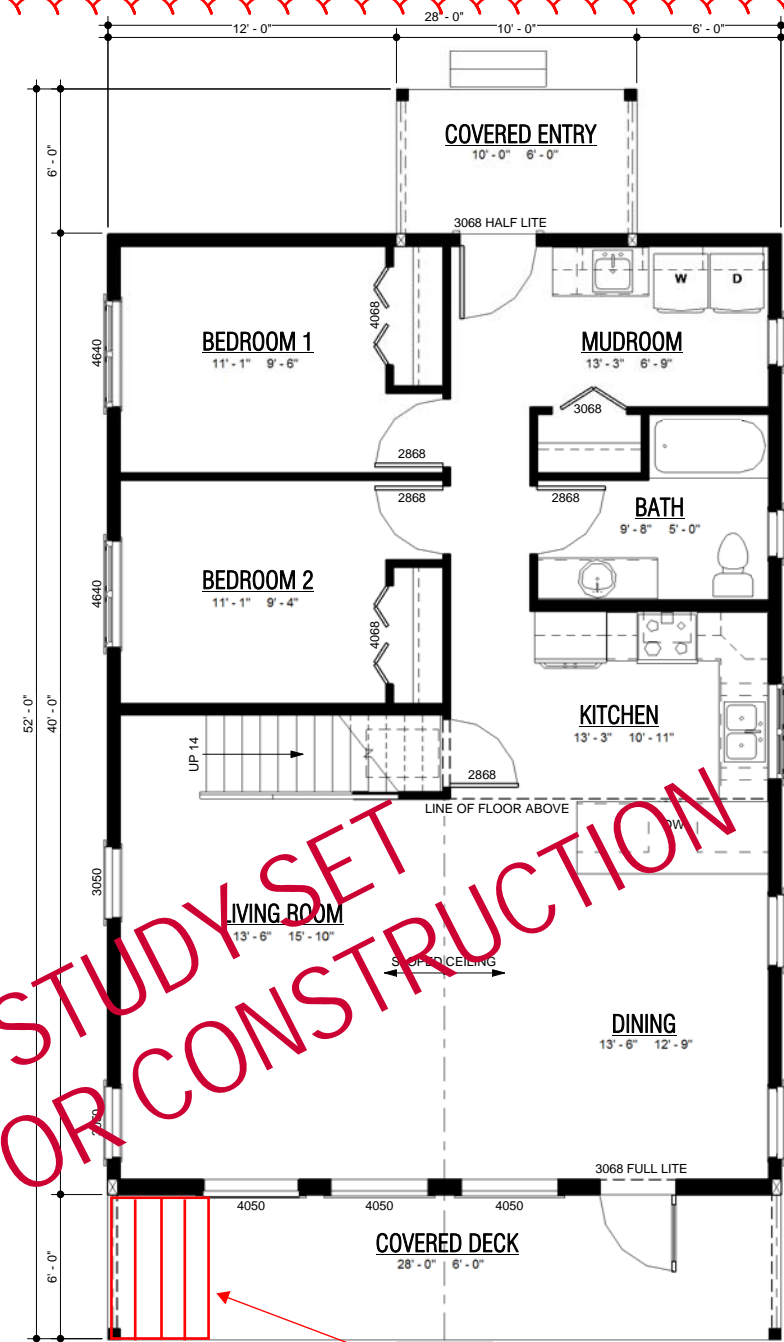
B. C. L. S.

HEMLOCK VALLEY RECREATION LTD.





STUDY SET
NOT FOR CONSTRUCTION



CUSTOMER:
**VANCOUVER
CABIN**

DRAWING TITLE:
STUDY SET

SITE ADDRESS:

DRAWN BY: WH	SHEET: 1 OF 3
SCALE: As indicated	REVISION NO.:
DATE: 05/18/18	1
COMM NUMBER:	SUPERSEDES ALL PREVIOUS REVISIONS
WORK ORDER NUMBER:	

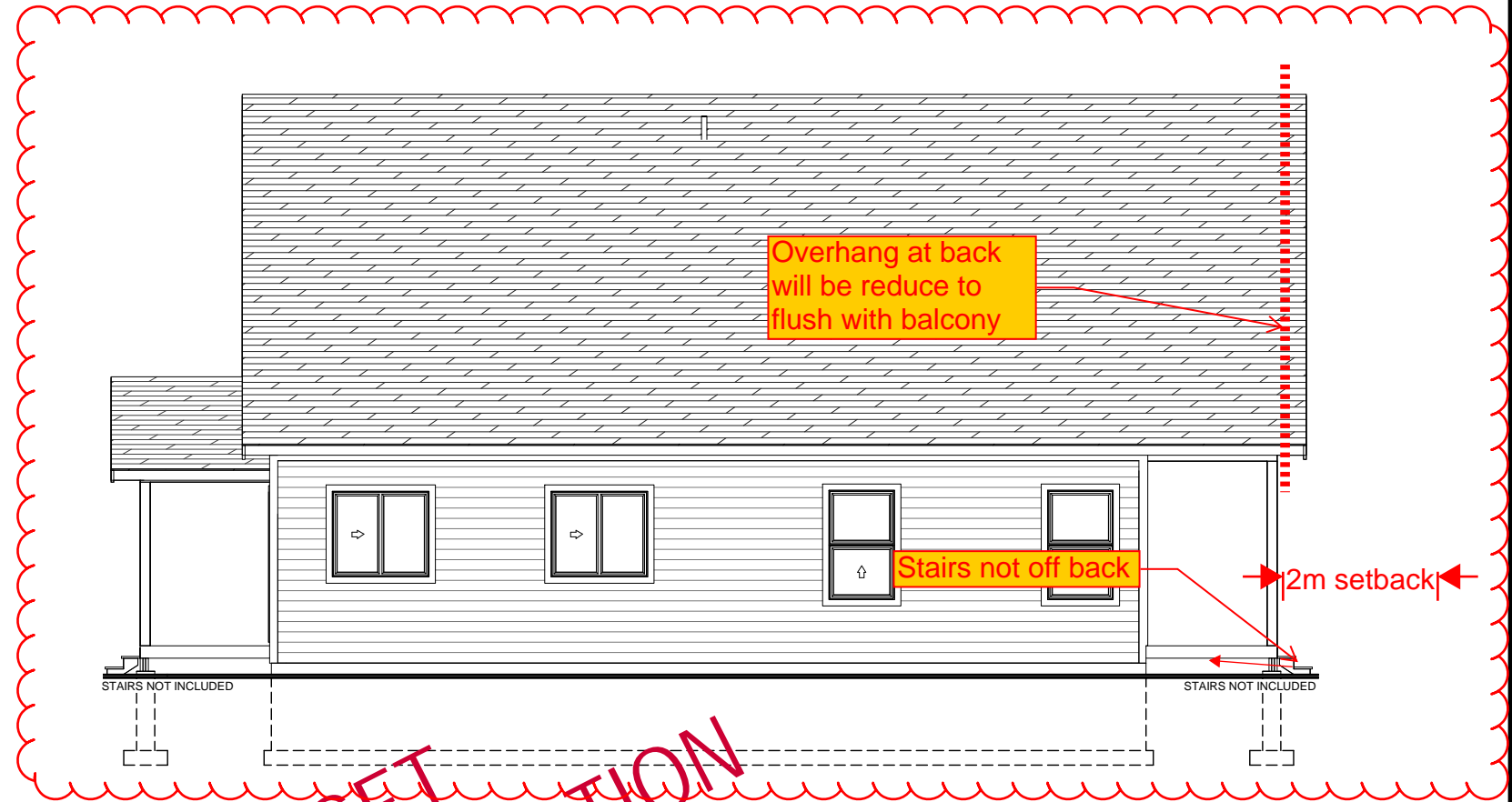


FRONT ELEVATION
1/4" = 1'-0"

NOTE: SHOWN WITH OPTIONAL FINISHES

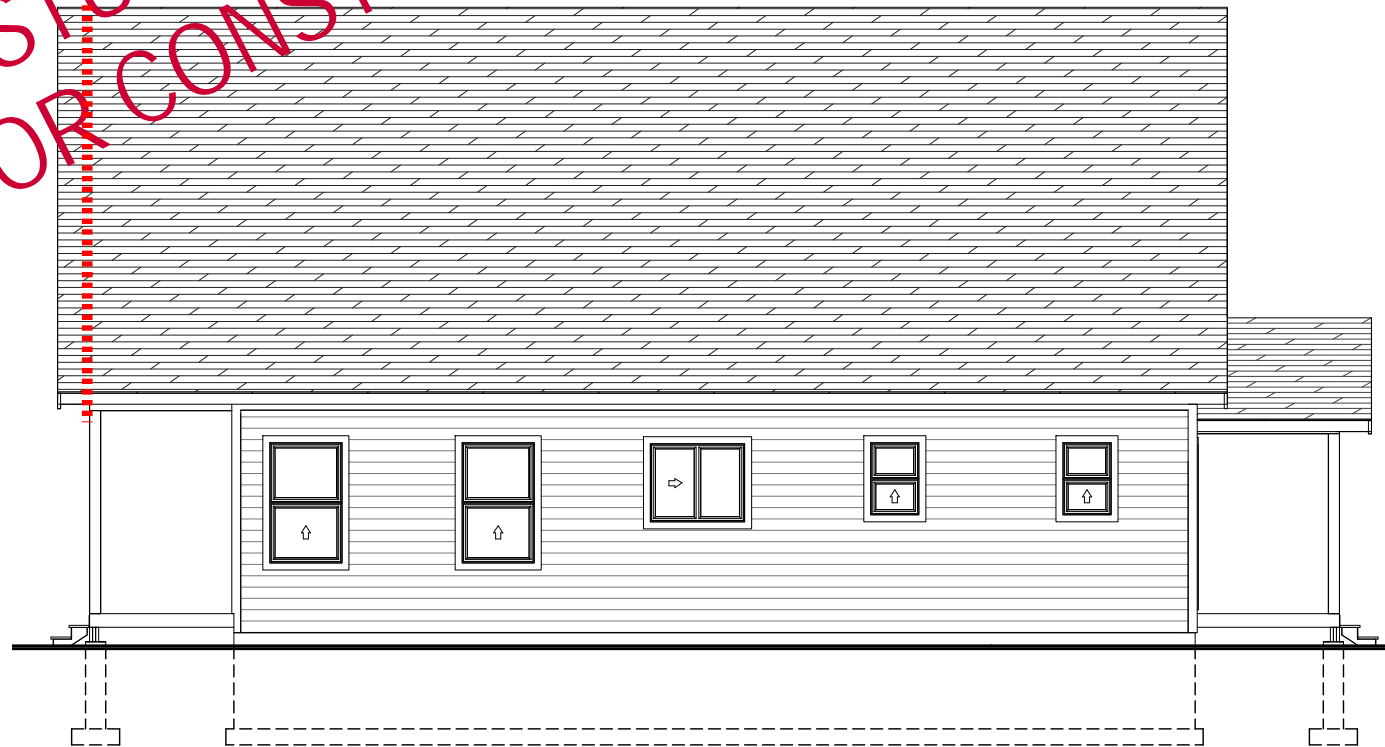


REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

STUDY SET
NOT FOR CONSTRUCTION



RIGHT ELEVATION
1/4" = 1'-0"



WINTON
HOMES & COTTAGES

590A Tomlin Road
Prince George, BC
V2K 4L4
Canada

Toll Free: 1.888.296.8059
wintonhomes.ca

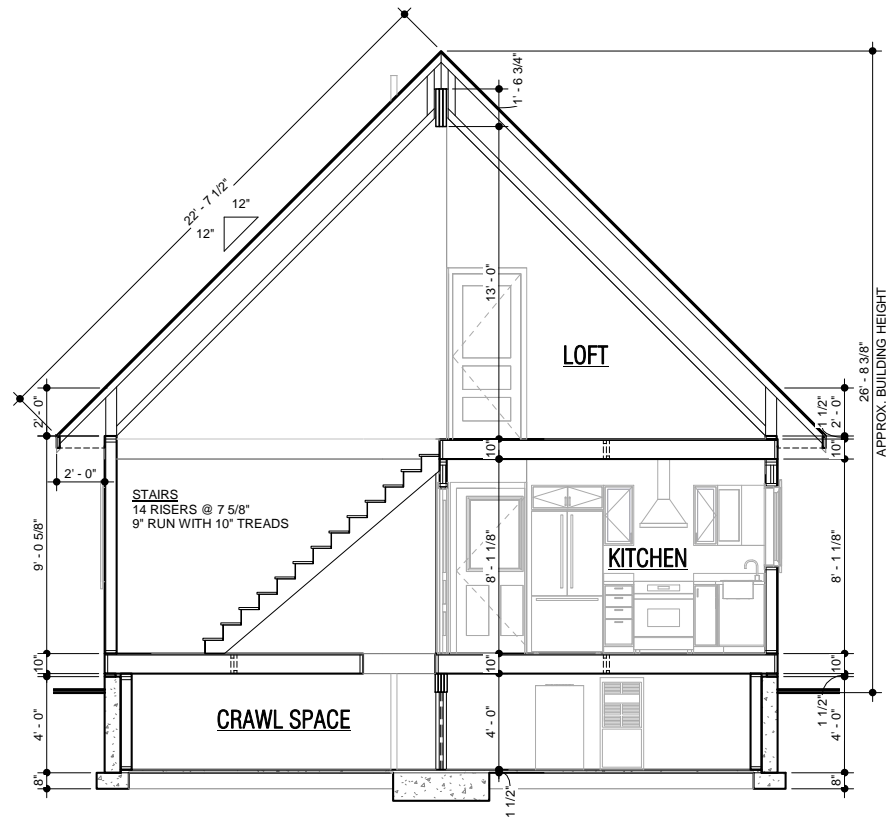
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COPY OR ALTER THIS PLAN IN WHOLE
OR IN PART WITHOUT THE WRITTEN
PERMISSION OF WINTON HOMES &
COTTAGES. WRITTEN DIMENSIONS
SHALL HAVE PRECEDENCE OVER
SCALED DIMENSIONS.

CUSTOMER:
**VANCOUVER
CABIN**

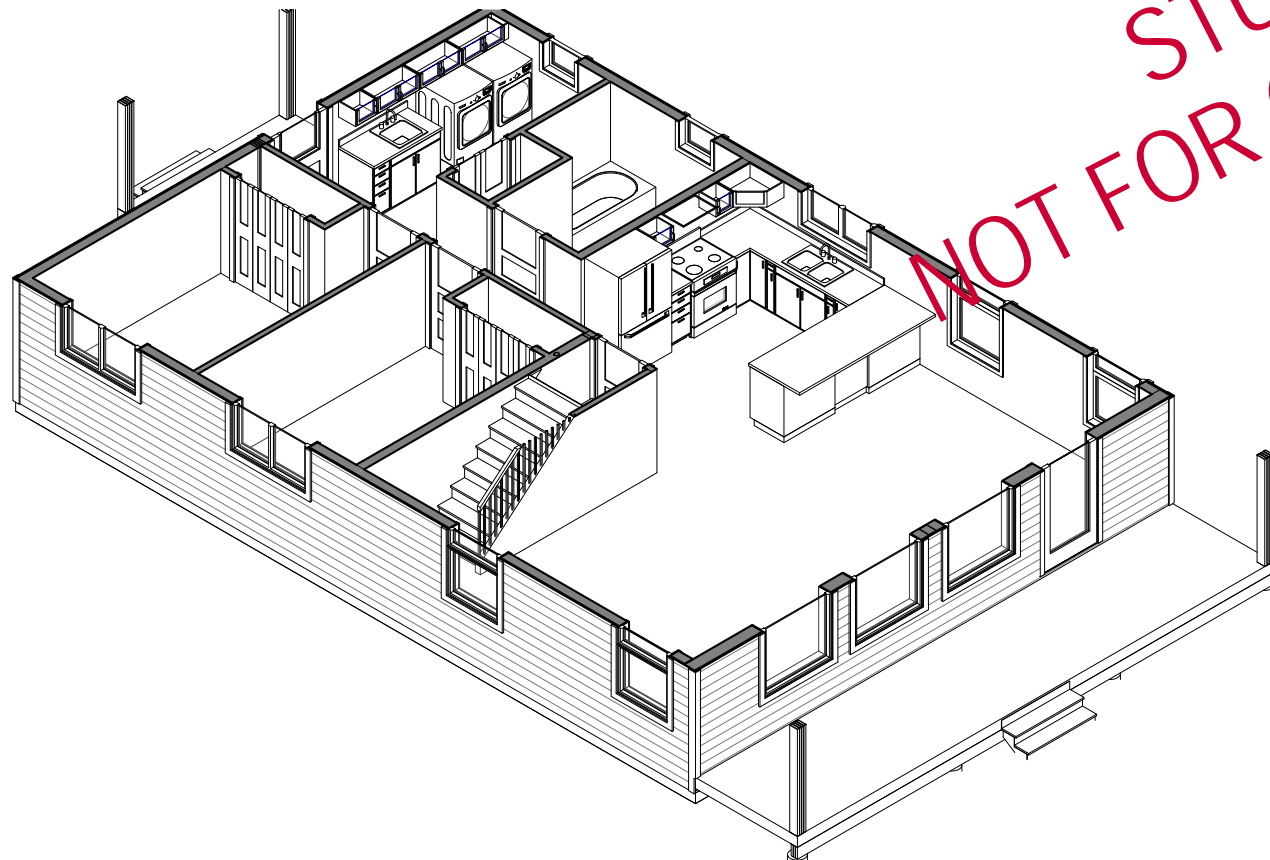
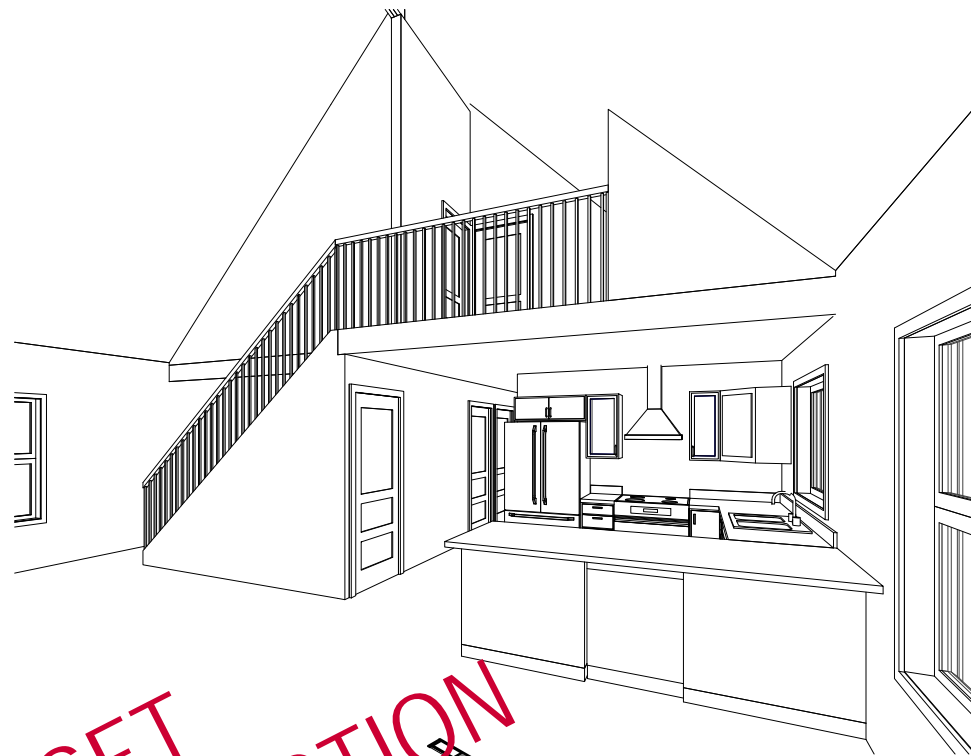
DRAWING TITLE:
STUDY SET

SITE ADDRESS:

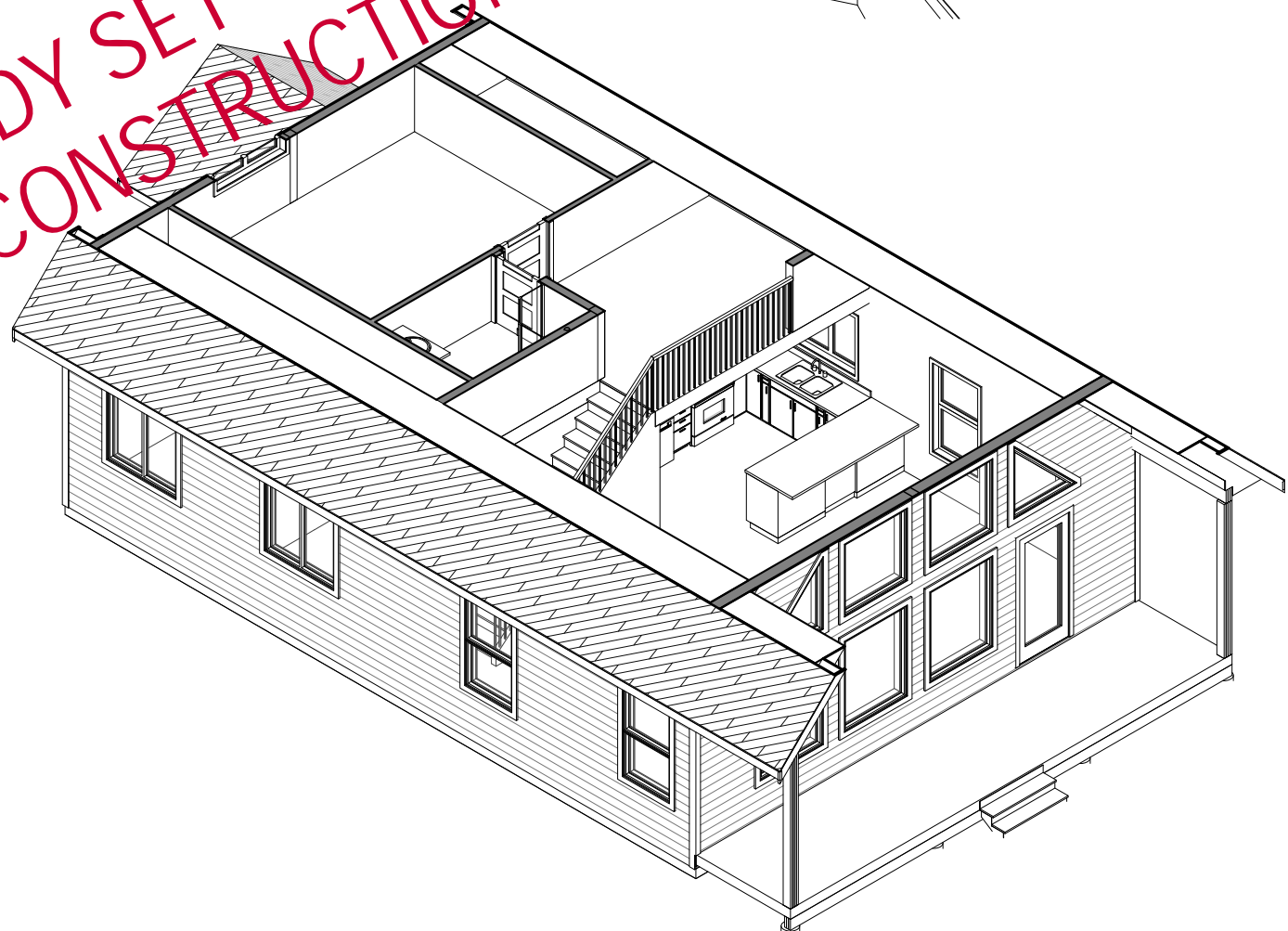
DRAWN BY: WH	SHEET: 2 OF 3
SCALE: 1/4" = 1'-0"	REVISION NO.: 1
DATE: 05/18/18	SUPERSEDES ALL PREVIOUS REVISIONS
COMM NUMBER:	WORK ORDER NUMBER:



A-A CROSS SECTION A-A
3 1/4" = 1'-0"



STUDY SET
NOT FOR CONSTRUCTION



CUSTOMER:
**VANCOUVER
CABIN**

DRAWING TITLE:
STUDY SET

SITE ADDRESS:

DRAWN BY: WH	SHEET: 3 OF 3
SCALE: 1/4" = 1'-0"	REVISION NO.:
DATE: 05/18/18	1
COMM NUMBER:	SUPERSEDES ALL PREVIOUS REVISIONS
WORK ORDER NUMBER:	